



Sea Queen Heritage, Plot No. 6, Sector - 18, Palm Beach Service Road, Sanpada, Navi Mumbai - 400 705

Tel : +91 22 49639871 / 3 | marketingmumbai@nationalbuilders.in / Website : www.nationalbuilders.in

Date: 01.12.2025

To,
The Regional Officer,
Maharashtra Pollution Control Board,
Raigad Bhavan,
6th Floor, Sector- 11,
C.B.D Belapur, Navi Mumbai.

Subject: Submission of the Half yearly compliance report for our project located at Plot No. 14 & 15, Naina TPS-I, Akurli, Panvel, Raigad, Maharashtra.

Reference: EC Identification No.- EC24B038MH110419
File No.- SIA/MH/INFRA2/449139/2023
Date of Issue EC- 08.02.2024

Respected Sir,

With reference to the above-mentioned subject and as per the condition stated in Environmental Clearance Letter, we would like to submit the **compliance report along with the monitoring reports** after receipt of Environmental Clearance for above mentioned site.

We are hereby enclosing our Compliance report copy along with the duly filled Data Sheet and annexures for your reference.

Thanking you.

Yours Sincerely,
For, M/s. Sea Queen Developers Pvt. Ltd.

AUTHORIZED SIGNATORY

Cc.: 1. Additional Principal Chief Conservator of Forests (C), Ministry of Environment, Forest and Climate Change, Regional Office (WCZ), Ground Floor, East Wing, New Secretariat Building Civil Lines, Nagpur.
2. Member Secretary SEIAA, Maharashtra.

Sr. No.	Specific Conditions	Reply
A. SEAC Conditions		
1.	PP to submit IOD/IOA/ Concession Document/ Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions there under as per the circular date 30.12.2014 issued by the Environment Department, Govt. of Maharashtra.	Noted. Kindly refer attached LOI Copy from CIDCO reference no. CIDCO/Plng/NAINA/Panvel/Akurli/TPS-1/IOD-001/140, Dated: 23.11.2023. Kindly refer to Enclosure 1 for LOI and approved plan.
2.	PP to obtain following NOC & remarks as per amended plan: 1) Water Supply 2) Sewer Connection 3) SWD NOC 4) Tree NOC 5) Revised Civil Aviation NOC 6) Final CFO NOC 7) C&D/SWM NOC	We have received the following NOCs 1) Water supply- Consent received from CIDCO 2) Sewer Connection NOC- Consent received from CIDCO 3) SWD NOC- Consent received from CIDCO 4) Tree NOC- Applied 5) Revised Civil Aviation NOC- Part Aviation NOC received 6) Final CFO NOC- Received from NAINA 7) C & D/SWM NOC- Applied Kindly refer Enclosure -2
3.	Planning authority to ensure that assured water supply, sewer and storm water drainage network is made available in the vicinity of the project before issuing occupation certificate to the project	Agreed.
4.	PP to increase 2-Wheeler parking the project considering the socio-economic status around the project; PP to ensure that minimum 25% 2-wheeler and 4-wheeler parking are equipped with electric charging facility.	NOTED. As required, we have proposed 400 Nos. of 2-Wheeler parking and 25% of EV parking for both 2-wheller and 4-wheeler. Enclosure no -3
5.	PP to submit revised energy calculation considering correct terrace area calculations and non-shaded terrace area & ensure minimum 5% energy saving from renewable sources and 20% overall energy saving in the project.	NOTED. 5 % energy saving through solar panel (renewable sources) considering terrace area and non-shaded terrace area and 29% overall energy saving in the project. Enclosure no 4 - Energy savings.
6.	PP to relocate parking adjacent to the STP, DG set as well as proposed on the UGTs.	Noted. We will revise the STP layout to reflect the area provided, ensuring 40% of the space is open to the sky.
7.	PP to relocate flushing tank adjacent to the STP.	We will relocate the flushing tank adjacent to the STP. Kindly refer Enclosure No 5
8.	PP to submit bifurcation of mitigation measures along with their cost for reducing air pollution and submit revised EMP of construction phase accordingly.	Please refer Enclosure No. 6 for PP undertaking stating that they will follow all guidelines of dust mitigation issued by the planning authority/ state government. Kindly also refer the Enclosure No. 13 for construction phase EMP costing showing bifurcation of mitigation measures along with their cost for reducing air pollution
B. SEIAA Conditions		
1.	PP submitted that, as per Schedule -2 preliminary town planning scheme NAIPA No.	Noted

	1 Notification number -TPS-1219/1865/CR-108/19/UD-12, Dated 03/09/2019 provision of RG area within the plot is not required on ground. Local planning authority to ensure the validity of the same.	
2.	This EC is restricted up to 39.00 m height as per Civil Aviation NOC.	Noted
3.	PP to keep open space unpaved so as to ensure permeability of water. However, whenever paving is deemed necessary, PP to provide grass pavers of suitable types & strength to increase the water permeable area as well as to allow effective fire tender movement.	Noted and we will comply the same.
4.	PP to achieve at least 5% of total energy requirement from solar/other renewable sources.	NOTED
5.	PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF & CC vide F.No.22-34/2018-IA.III dt.04.01.2019.	Noted and we will comply the same. We have received Environment Clearance. EC Identification No. EC24B038MH110419 Dated 18.02.2024 The copy enclosed –Enclosure no 7
6	SEIAA after deliberation decided to grant EC for-FSI-25260.826 m2, Non FSI- 24407.786 m2, total BUA-49,668.612 m2. (Plan approval No-CIDCO/Ping/NAINA/Panvel/Akurli/TPS-1/IOD-001/140, Dated:23.11.2023) (FSI restricted as per appraisal and non FSI as per approval)	NOTED.
General Conditions:		
a.) Construction Phase: -		
I.	The solid waste generated should be properly collected and segregated. Dry/ inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.	During the construction phase, the solid waste is being collected & segregated into wet & dry waste and supplied through authorized vendors.
II.	Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.	Re-utilization & recycling strategy for construction debris is being followed. Recycled aggregates are sold to the recycle dealer.
III.	Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.	Negligible quantities of oil spillage from construction machineries & vehicles.
IV.	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.	Drinking water is being stored in a clean separate tank to avoid contamination. The waste generated from the labor camps (mostly household waste) is collected and disposed to disposal facility. Sanitary hygienic facilities provided for workers at site.
V.	Arrangement shall be made that waste water and storm water do not get mixed.	Separate pipelines for wastewater and stormwater are proposed in the project.

VI.	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.	Water demand during construction phase is being reduce by use of pre-mixed concrete and curing agents.
VII.	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.	Noted.
VIII.	Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.	No Extraction of Ground water.
IX	Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor-based control.	Yes. Low pressure water fixtures are proposed.
X.	The Energy Conservation Building Code shall be strictly adhered to.	Noted.
XI.	All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.	Excavated soil shall be used for backfilling and levelling of the plot & remaining shall be used within site for landscaping.
XII.	Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.	Excavated soil shall be used for backfilling and levelling of the plot & remaining shall be used within site for landscaping.
XIII.	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.	The construction process does not involve any activity which may lead to leaching of heavy metals and toxic contaminants. Hence, there is no threat of contamination to sub-soil and ground water.
XIV.	PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.	Noted.
XV.	The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.	D.G. Sets will be operated only in case of power failures during construction phase. We have proposed a DG set which is of enclosed type & confirms to EPA standard.
XVI.	Vehicles hired for transportation of raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highway Department. The vehicle shall be adequately covered to avoid spillage/leakages.	Vehicles hired for transportation of raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highway Department. The vehicle shall be adequately covered to avoid spillage/leakages.
XVII.	Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.	During construction adequate measures are taken to maintain air quality and noise levels within the prescribed limits. Dust suppression of fugitive dust arising mainly due to transportation of construction material is being carried out by water sprinkling. Ambient air and noise level monitoring is being carried out in the construction phase to ensure that the ambient air quality and noise levels are within the prescribed limits. The

		ambient air quality and noise levels during the construction phase are given. Kindly refer Monitoring Report ENCLOSURE NO 8
XIX	Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by a separate environment cell/designated person.	Yes. We have defined EMP Cell to take care of regular monitoring and implementation of EMP.
b.) Operation Phase		
I.	A) The solid waste generated should be properly collected and segregated. B) Wet waste should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. C) Dry/ inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.	The solid waste will be collected & segregated into wet & dry waste and supplied through authorized vendors.
II.	E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.	Noted and we will comply the same
III.	A) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/reused to the maximum extent possible. Treatment of 100% gray water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP. B) PP to give 100% treatment of sewage/Liquid waste and explore the possibility to recycle at least 50% of water, local authority should ensure this.	STP will be certified by independent expert and same will be commissioned after due approval from MPCB. The 100% treatment will be done and treated sewage will be used for gardening and flushing purpose. Excess will be drained into existing sewer line and will conform to the norms of MPCB, also Activated carbon filter and sand filter will be given to take care of odour problem. For Sewage Treatment Plant location
IV.	Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement.	Noted. STP of 194 m3/day is proposed. Organic waste converter for wet garbage will be provided while dry garbage will be recycled.
V.	The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.	Noted & agreed to.

VI.	Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.	Public road and public area will not be not being used for project activity purpose and are free from smooth traffic movement. Provisions are made for adequate parking facilities within the project complex and no public space will be used for parking of Vehicles.
VII.	PP to provide adequate electric charging points for electric vehicles (EVs).	Noted and will be complied. for the Parking plans with 25% of 2-wheeler and 4-wheeler is equipped with electric charging facility.
VIII.	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.	The landscape is developed considering CPCB guidelines. Local tree species are used for plantation.
IX.	A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.	Yes. We will provide the same. Refer Environment Management Cell structure
X.	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These costs shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes.	Noted and we shall comply the same.
XI.	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://parivesh.nic.in .	Noted and given. Kindly refer Enclosure No.9
XII.	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.	We will comply with the same.
XIII.	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM. SO ₂ , Nox (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a	We will comply with the same.

	convenient location near the main gate of the company in the public domain.	
C)	General EC Conditions	
I.	PP has to strictly abide by the conditions stipulated by SEAC & SEIAA.	Noted.
II.	If applicable Consent for Establishment shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.	Noted and we have obtained the same from Maharashtra Pollution Control Board under Air and Water Act The Consent to Establish copy enclosed – Enclosure no 10
III.	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.	We have received Environment Clearance. EC Identification No. EC24B038MH110419 Dated 18.02.2024 The copy enclosed –Enclosure no 7
IV.	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.	As per EC conditions we are submitting six monthly Compliance report.
V.	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.	Noted and we will submit the same at MPCB portal.
VI.	No further Expansion or modifications, other than mentioned in the EIA Notification, 2006 and its amendments, shall be carried out without prior approval of SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.	Noted and agreed to.
VII.	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily imply that Forestry & Wild life clearance granted to the project which will be considered separately on merit.	The project is not in a forest area; hence, Forest and Wildlife NOC is not Applicable

4.	The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.	Noted.
5.	This Environment Clearance is issued purely from an environment point of view without prejudice to any court cases and all other applicable permissions/NOCs shall be obtained before starting proposed work at site.	Noted.
6.	In case of submission of false document and noncompliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.	Noted.
7.	Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, amended time to time.	Noted.
8.	The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.	Noted.
9.	Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1stFloor, D-, Wing, Opposite Council all, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.	Noted.

ENCLOSURE LIST

Enclosure Nos.	Documents
1.	LOI with Approved Drawing
2.	NOC's
3.	Parking Details
4.	Energy saving calculations & Plan
5.	Sewage Treatment Plant (STP) location and section plan
6.	Dust Mitigation
7.	Environment Clearance copy
8.	Monitoring reports (Soil, Ground water, Air, Noise and Drinking Water)
9.	Advertisement in newspaper
10.	Consent to Establish copy
11.	Solid waste management Calculation & Plan
12.	Valid PUC Certificates
13.	Site Photographs
14.	Environmental Management Plan Expenditure

Enclosure Nos. 1 (LOI)



CITY AND INDUSTRIAL DEVELOPMENT CORPORATION OF MAHARASHTRA LIMITED

(CIN - U99999 MH 1970 SGC - 014574)

REGD. OFFICE:

"NIRMAL", 2nd Floor, Nartiman Point,
Mumbai - 400 021.
PHONE : +91-22-6650 0900
FAX : +91-22-2202 2509

HEAD OFFICE:

CIDCO Bhavan, CBD Belapur,
Navi Mumbai - 400 021.
PHONE : +91-22-6791 8100
FAX : +91-22-6791 8166

Ref. No. CIDCO/Ping/NAINA/Panvel/ Akurli/TPS-1 /IOD-001/140

Date : 23.11.2023

To,

Mr. Mannapone Chacko Sunny
Sea Queen Developers Pvt Ltd.
105, Chadda Crescent,
Sector 17, Vashi, Navi Mumbai.
PIN 400703

Subject: Intimation of Disapproval (IOD) for proposed development on Plot no. 14 & 15, TPS- 1, Village Akurli, Tal. Panvel, Dist. Raigad

References:

1. Applicant's request for LOI for Plot No. 14 & 15, TPS-1, Akurli, Panvel dated 08/02/2023
2. Digitally certified Property Card of Final Plot No. 14 & 15 dated 24/8/2023
3. Confirmation plan for Final plot no. 14 & 15 of TPS 1, Scheme part A, signed by CL&SO, NAINA
4. NOC issued for Height clearance of building from AAI, Western Region HQRS vide no. NAVI/WEST/B/082021/571700 dated 12/10/2021 for FP no. 14 & 15
5. Fire NOC, No. CIDCO/FIRE/NAINA/E-233126/2023 dated 07.08.2023
6. Board Resolution No.12726 dtd. 13/07/2023

Sir,

This has reference to your application for the grant of Letter of Intent (LOI)/ Intimation of Disapproval (IOD) for seeking Environmental Clearance (EC) for proposed Residential cum Commercial development on Plot no. 14 & 15, TPS- 1, Village Akurli, Tal. Panvel, Dist. Raigad.

Documents and plans submitted by the project architect in accordance with the prevailing NAINA DCPRs and Special DCPRs of TPS-1 are examined. It is observed that as per AAI NOC for FP no. 14 & 15 of NAINA TPS-1, the maximum permissible height (top elevation) is 54.32 m AMSL. The site elevation is 15.32 m AMSL. Accordingly, the permissible height of building above ground level is 39.00 m. However, you intend to build up to 86 m AMSL to consume full potential of the plot, whenever the higher elevation may be made permissible by AAI.

स्वागितेकर
23.11.23

Page 1 of 3

Except the Height NOC, your proposal is found in order. Hence, in order to seek Environmental Clearance for the full potential of the plot, this is the 'Intimation of Disproval' under section 45(1) (iii) of Maharashtra Regional & Town Planning Act, 1966.

This 'Intimation of Disapproval (/OD) is being issued as per CIDCO's Board Resolution No. 12726 dt. 13/0712023, for the purpose of obtaining Environmental Clearance (EC) from SE/AA. This letter or grant of EC by SE/AA committee shall not be construed as a commitment to grant of development permission. The applicant has to comply with all the requirements of prevailing regulations for seeking development permission including Height Clearance from Airport Authority of India (AA/) and compliance of Court Orders, if any, as may be applicable to the proposal.

You are required to take Commencement Certificate after grant of the Environmental Clearance from SEIM, with due compliances of the recommendations as directed by competent authority prior to commencement of any work on site.

The details of the proposal u/r are as under:

1.		Name of the Owner	Mis Sea Queen Developers Pvt. Ltd. through Mr. Mannapone Chacko Sunny
2.		Name of the Developer	Mis Sea Queen Developers Pvt. Ltd. through Mr. Mannapone Chacko Sunny
3.		Property Details	Plot no. 14 & 15, TPS- 1, Village Akurli, Tai. Panvel, Dist. Raigad
4.		Area Statement	
	i.	Plot area	10148.00 sq. m
	ii.	Permissible FSI	2.5
	iii.	Permissible BUA	25370.000 sq. m
	iv.	Proposed BUA	25340.411 sq. m
	v.	Balance BUA	00029.589 sq. m
	vi.	FSI proposed to be consumed (iv/i)	2.49
	vii.	Gross Construction Area	49748.197
5.		Number of Buildings	1
6.		Number of Units	Residential: 276 Commercial: 14 nos.
7.		Height of Building	68.895 m (up to terrace level as per drawing) 70.455m (top of the building)
8.		R. G. Area	Not applicable
9.		Parking	

i.	Required Parking	2 Wheeler: 390 nos. 4 Wheeler: 625 nos.
ii.	Proposed Parking	2 Wheeler: 400 nos. 4 Wheeler: 629 nos.

Open Spaces for the Buildings:

Particulars	Required (m)	Proposed (m)	Remarks
Front	12 m	12 m.	
Rear	6 m for podium and 12 m for building above podium	6 m for podium and 12 m for building above podium.	
Side 1	12 m	9 m.	As per clause no.22.3.8 (dead wall 6m is required)
Side 2	12 m	9 m.	As per clause no.22.3.8 (dead wall 6m is required)

It may be noted that

- As per Special DCPRs for TPS-01 of NAINA, provision of 20% of plot units for economically weaker sections and lower-income groups is not mandatory.
- As per Special DCPRs for TPS-01 of NAINA, provision of 10% of plot area for recreational open space and 5% for amenities is not mandatory.

Disclaimer: This letter is issued on your request for obtaining Environmental Clearance from SEIAA. This letter is not a development permission granted under MR & TP Act, 1966. It is further clarified that this letter should not be construed to be actual approval to commence the construction or to create any third party interest. Also, while processing final permission for sanction under NAINA DCPRs and Special DCPR of TPS-1, if any discrepancy is found in calculation of potential FSI, approvability of any plans arising either due to some misrepresentation or withholding of any information or due to any other reason whatsoever, in such event provisions of NAINA DCPRs shall prevail. This letter cannot be taken as a basis for any claim for compensation, grant of right or otherwise.

This letter is issued with approval from Competent Authority.

Thanking you,

Yours faithfully,

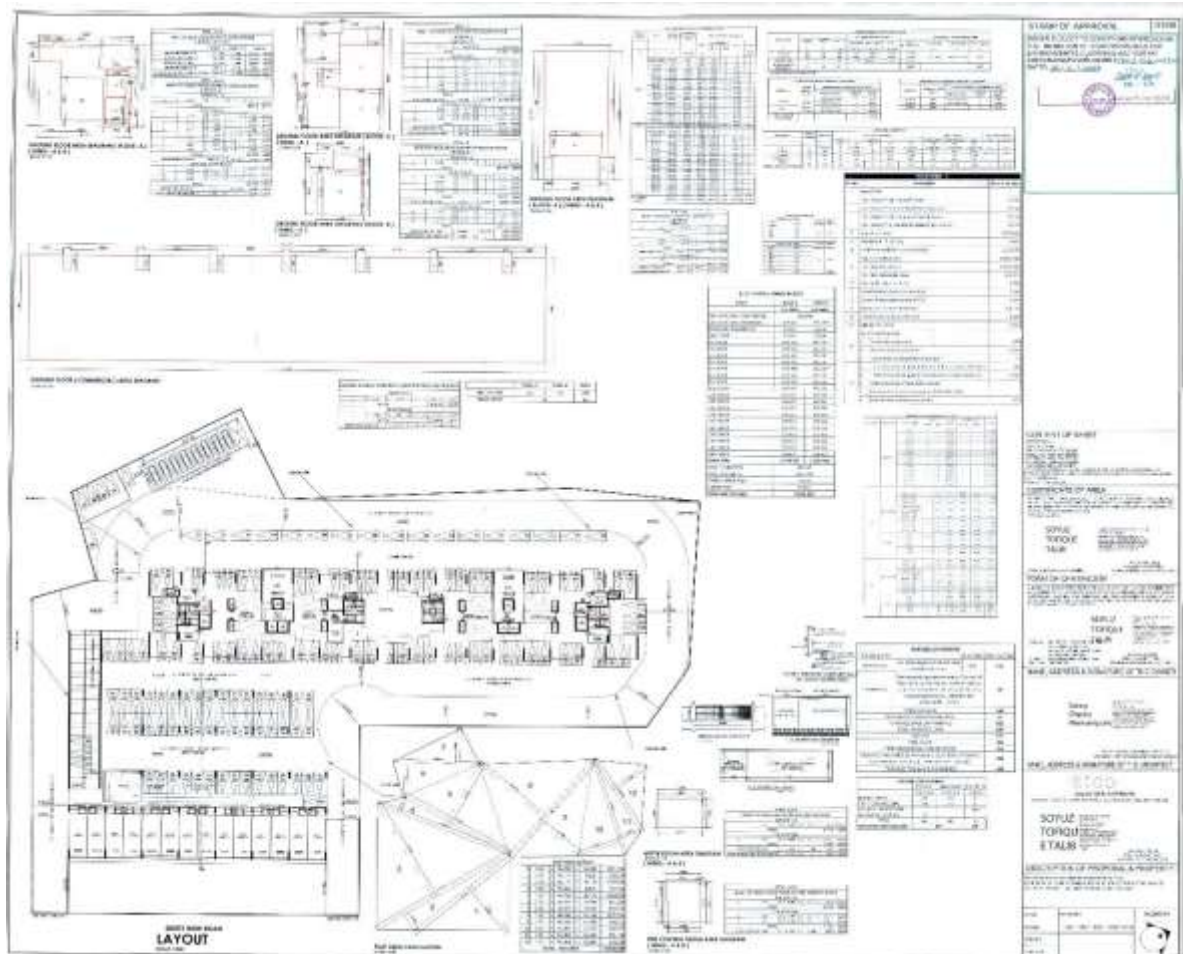
स्वाती पोहेकर
23.11.23

Associate Planner (BP), NAINA,
CIDCO Ltd.



CC to:
Ar. Soyuz Talib

Approved Drawing



Enclosure Nos. 2 (Water NOC)



CITY AND INDUSTRIAL DEVELOPMENT CORPORATION OF MAHARASHTRA LIMITED

[CIN - U99999 MH 1970 SGC - 014574]

REGD. OFFICE:

"NIRMAL", 2nd Floor, Nariman Point,
Mumbai - 400 021.
PHONE : 00-91-22-6650 0900
FAX : 00-91-22-2202 2509

HEAD OFFICE:

CIDCO Bhavan, CBD Belapur,
Navi Mumbai - 400 614.
PHONE: 00-91-22-6791 8100
FAX : 00-91-22-6791 8166

Ref. No. CIDCO/EE (NAINA-I)/2023/217

Date: 22/11/2023

To,

M/s Sea Queen Developers Pvt. Ltd
Sea Queen Heritage, Plot No. 6,
Sector-18, Palm Beach service road,
Sanpada Navi Mumbai- 400 705.

Sub:- Water Supply NOC required for Environment Impact
Assessment (EIA) for Plot No. 14 & 15, TPS 1, village
Akurli, Tal Panvel Dist. Raigad


Ref:- M/s Sea Queen Developers Pvt. Ltd.'s letter dtd
16.09.2023

M/s Sea Queen Developers Pvt. Ltd, vide above referred letter has
asked for "Water Supply NOC" for their Plot No. 14 & 15, TPS 1, village
Akurli, Tal-Panvel, Dist.- Raigad for Environment Impact Assessment (EIA).

This is to inform you, that CIDCO has not completed Water Supply
network at present. However, CIDCO will provide the Water Supply for TPS 1
in future so as to supply it at Ground Floor as per prevailing rules and
tariffs and intimate you accordingly.

However, You have to make provisional arrangement to provide water
supply till completion of water supply arrangements for TPS-1 of NAINA
area.

This Water Supply NOC is issued for the project situated on Plot No.
14 & 15, TPS 1, village Akurli, Tal Panvel Dist. Raigad in TPS 1, NAINA for
EIA.


(D.A. Wankhade)
Executive Engineer (NAINA-I)
Tower No. 10, 7th floor, Belapur
Railway Station Complex,
CBD-Belapur. Navi Mumbai-400614

In case of any corruption related complaints, please visit :
www.cidco.maharashtra.gov.in Click on Dakshata link

Enclosure Nos. 2 (Fire NOC)



CITY AND INDUSTRIAL DEVELOPMENT CORPORATION OF MAHARASHTRA LIMITED

(CIN - U99999 MH 1970 SGC - 014574)

REGD. OFFICE:

"NIRMAL", 2nd Floor, Nariman Point,
Mumbai - 400 021.
PHONE : 00-91-22-6650 0900
FAX : 00-91-22-2202 2509

HEAD OFFICE:

CIDCO Bhavan, CBD Belapur,
Navi Mumbai - 400 614.
PHONE: 00-91-22-6791 8100
FAX : 00-91-22-6791 8166

Ref. No.

CIDCO/FIRE/NAINA/2023/E-233126

Date: 07/08/2023

To

The Associate Planner (NAINA),
CIDCO LTD. 7th Floor, Tower no.10,
Belapur Railway Station Building Complex,
CBD Belapur, Navi Mumbai - 400614

SUBJECT: Fire brigade provisional NOC Stipulating fire protection requirements for the proposed residential cum commercial high-rise building on Final Plot No. 14 & 15, of NAINA TPS-1, Village-Akurli, Tal-Panvel, Dist-Raigad, for M/s. Sea Queen Developers Pvt. Ltd.

REFERENCE:

- 1) Application from Architect M/s. STAPL received to this office on 20/06/2023.
- 2) Letter received from Senior Planner (BP) vide letter No. CIDCO/NAINA/Panvel/Akurli/BP-Draft-187/2023/CC/E-232393 dated 04/08/2023
- 3) Certified Area of construction by architect GBA 49748.197 sq.mtrs.
- 4) Three sets of Architectural drawings.

Sir,

M/s. STAPL architect of the said project, under the instruction of his client M/s. Sea Queen Developers Pvt. Ltd. had applied to this department to obtain provisional fire NOC for their proposed Residential cum Commercial building having Ground + 1st & 2nd Floor (Parking) + 3rd to 20th upper floor (Residential) with height 65.895 mtrs measured from ground level to the terrace on Final Plot No. 14 & 15, of NAINA TPS-1, Village-Akurli, Tal-Panvel, Dist-Raigad for M/s. Sea Queen Developers Pvt. Ltd.

The details of location, clear open spaces, structure and occupancy are as under.

A1 DEMARCATION OF THE PLOT BOUNDRIES.

Sr.no.	Direction	Description of adjoining properties.
1	On Towards North	--
2	On towards South.	20.00 mtrs Wide Road
3	On towards East	Final Plot No16
4	On towards West	Final Plot No13

1

In case of any corruption related complaints, please visit :
www.cidco.maharashtra.gov.in Click on Dakshata link

B] OPEN SPACES WITH IN THE PLOT

Sr.no.	Direction	From building line to plot boundry	Remarks
1	North	6.00 Mtrs	As per Submitted Project Details
2	South	6.00 Mtrs	
3	East	6.00 Mtrs	
4	West	6.00 Mtrs	

C] STRUCTURE DETAILS:-

No. Of building	No. of wings	Floor	Height in mtrs	No. stairs and width	No. of lifts and fire lifts	U.G. Tank capacity	O.H. Tank capacity	Fire pump room	Fire Duct	Ele. Duct
1	Residential cum Commercial Building									
	A	G+20	65.895	02 nos of staircase s. Width is 1.5 mtrs.	04 Nos. of which 1 is fire lift	250087 ltrs	20095 ltrs	Yes Common	Yes	Yes
	B	G+20	65.895	02 nos of staircase s. Width is 1.5 mtrs.	04 Nos. of which 1 is fire lift		20095 ltrs		Yes	Yes

D] OCCUPANCY DETAILS (Residential cum Commercial Building)

Sr.no	Floor	Activity	Proposed area in sq. mtrs (Area in sq.mtrs) A Wing	Proposed area in sq. mtrs (Area in sq.mtrs) B Wing
1.	Ground	Commercial & Car Parking	796.537	775.538
2.	1st	Car Parking	64.844	64.844
3.	2nd	Car Parking	64.844	64.844
4.	3rd	Residential	903.477	903.477
5.	4th	Residential	903.477	903.477
6.	5th	Residential	903.477	903.477
7.	6th	Residential	903.477	903.477
8.	7th	Residential	919.186	919.186
9.	8th	Residential	903.477	903.477
10.	9th	Residential	903.477	903.477
11.	10th	Residential	903.477	903.477
12.	11th	Residential	903.477	903.477
13.	12th	Residential	919.186	919.186
14.	13th	Residential	903.477	903.477
15.	14th	Residential	903.477	903.477
16.	15th	Residential	903.477	903.477
17.	16th	Residential	903.477	903.477
18.	17th	Residential	929.680	929.680
19.	18th	Residential	903.477	903.477
20.	19th	Residential	903.477	903.477
21.	20th	Residential	647.426	647.426
22.	Terrace		131.148	131.148
			17121.529	17100.530
		Others	15526.14	
		Total	49748.197 Sqmtrs	

E] FIRE DEPARTMENT COMMENTS:

1. Party had proposed the said residential building as per the UDCPR.
2. Party had informed undersigned that they had complied the accepted UDCPR.
3. The plot area is 10148.00 sq mtrs.
4. The said plot is easily approachable through 20 mtrs road from South Side.
5. Clear and unobstructed drive way of more than 6.00 mtrs. is proposed on side of the building for the fire fighting purpose which can take a load of 45 tons.
6. Party has proposed the Residential cum Commercial building having Ground + 1st Floor (Parking) + 2nd (Parking) + 3rd to 20th upper floor with height 65.895 mtrs measured from ground level to the terrace level.
7. Party had proposed 1st to 2nd Podium floor for car parking purpose for which 6 mtrs wide 2 way ramp is provide which having gradient of 1:8 gradient.
8. 02 nos. of staircases each of 1.5 mtrs wide enough along with fire resistance doors are proposed for each wing.
9. Party has proposed 03 nos. of passenger lift and 01 nos. of fire lift for each wing.
10. Party has proposed 9 level puzzle car parking (64 Cars).
11. Refuge area is proposed on 7th, 12th, 17th floor of 102.57 sq mtrs. each for A & B wing
12. Common Underground tank purely for firefighting purpose is of 250087 ltrs & separate O.H. tank, purely for firefighting propose is of capacity 20095 Ltrs each is accepted.
13. Separate fire duct for riser system with proper opening at each floor level is proposed.
14. Entire Residential cum Commercial building, Car Parking, stilt on ground, covered podium area, lift lobby, in each residential flat & shops provided with sprinkler system, detection & alarm system.
15. The wet -riser cum down comer system, sprinkler system, detection & alarm system along with proper pumping system is proposed.
16. The submitted proposal is well in order in fire & life safety point of view.

In view of the above noted point and fact, as the submitted proposal is well in order in fire & life safety point of view, hence this department does not have any objection for the said Proposed Residential cum Commercial building having Ground + 1st Floor (Parking) + 2nd Floor (Parking) + 3rd to 20th upper floor (Residential) with height 65.895 mtrs measured from ground level to the terrace on Final Plot No. 14 & 15, of NAINA TPS-1, Village-Akurli, Tal-Panvel, Dist-Raigad for Residential cum Commercial purpose by M/s. Sea Queen Developers Pvt. Ltd. subject to compliance of UDCPR, approval by your department & satisfactory compliance of following fire brigade requirements. Sign in token of approval subject to requirements given as under.

A] FIREBRIGADE REQUIRMENTS.

- **Party shall provide all the following requirement as mentioned in approved plans by this department.** Vide drawing sheet no. 1 to 08
 1. Entry ,exits shown in the drawings shall be minimum 02 nos of entry exists not less then 6 mtrs wide & vertical clearance not less then 05 mtrs .
 2. Clear open space as shown in drawings which shall take load of not less then 45 on ground level.
 3. Escape route shown in drawing shall be on independent circuits as per rule .
(staircase and corridor lighting)



4. Enclosed external type Staircases each of 1.5 mtrs wide shown in drawing shall be provided with proper ventilation & smoke management.
5. Lifts and other lifts shown in the drawing shall be not less than 8 person capacity and one of them in each wing shall be Fire lift. All the lifts shall be provided with ARD unit. (No collapsible shutter shall be provide)
6. Fire pump room to provide the all pumps including diesel pump.
7. Fire duct, service duct, Electrical shaft shown in drawing shall be sealed at each floor level.
8. Electric meter and D.G. Set room shall provide at ground floor as shown in drawings with proper fire safety measures.
9. 2 hour FRD, approved by government organization as per IS-3614.
10. Refuge area shall be provided in such a way which shall be accessible for fire vehicles and each refuge shall be provided with seating arrangement and drinking water facilities.
11. Alternate source of power supply by D.G. set with AMF (auto mode change over facilities) panel for fire essential services and areas such as fire lift, all staircases and common floor passage/ lobby areas/refuge area etc.

• **ELECTRICAL SAFETY** : The party shall take care proper electrical safety as per electrical safety rules.

1. Electric cable shafts shall be exclusively used for electric cables shall be sealed at each floor level.
2. Electric meter room shall be provided at ground floor level at the location marked on the enclosed plans. It shall be adequately ventilated.
3. Electric wiring shall be having copper/aluminium core having the fire resistance and low smoke hazards cables for the entire building with the provision of ELCB / MCB.
4. Areas in substation shall not be used as storage/dump areas or other utility purpose other than those required for the function of substation.
5. Sub station area should be adequately ventilated and proper fire safety requirements shall be complied as per the relevant code for the substation fire safety.
6. Lighting protection system shall also be provided.
7. The IOT based Micro Controller Devices shall be provided in the electrical installation of the building as per the requirement stipulated in circular No. गसमन परिपत्रक क्र. सुविनि-२०२१/प्र.क्र.११४/डनई-१५.
8. The provided IOT based system shall be with respect to fire protection, fire alarm & detection system.

B) REQUIREMENT OF ACTIVE FIRE PROTECTION SYSTEM :

For Residential cum Commercial Building

Party shall get all the fire protection drawings approved prior to start the installation at the sight

SR.NO.	FIREFIGHTING INSTALLATION	REQUIREMENTS	PROVISION	REMARKS.
1.	Portable fire Extinguishers	Required at prominent places.	As per Is 2190	At various strategic Location, & near electric meter room, lift room.
2.	Hose reel	Required	As per IS 884: 1984	At various strategic Location

3.	Fire -duct (Shall be sealed at each floor level)	Required		At each floor level and provided with: 1) Single Landing valve IS 5290 at each floor level. 2) Hose-reel hose : 30 mtrs IS 884/ 12585. 3) Hose box with a)15 mtrs canvas hose with male & female coupling IS 663 b) nozzle IS 903
4.	Wet riser	Required		Shall be provide at in the given fire duct . High level & low level riser shall be provided.
5.	Yard Hydrant or Ring hydrant	Required At various strategic Location , this shall also be extended on top most podium floor for proper fire protection in addition to this the internal side podium is not accessible for fire engine hence diagonally opposite water monitor shall be provided.		At periphery at distance of 45 meters distance from each other appropriate distance shall be maintained. Internal dia shall not be less than 150 mm.As per guide line IS 3844.
6.	Sprinkler System	Required in entire building 1. In entire building, in car parking area, in podium area, in stilts, common lift lobby area on each floor, in Commercial area & in each residential unit.		Shall be provided as per the guideline given in IS 15105:2021 Design and installation of fixed automatic sprinkler fire extinguishing system.
<p>NOTE : 1) For sr. no.4,5 & 6 License agency shall produce the "TEST CERTIFICATE" OF PIPES use i.e. New brand GI "C" Class heavy duty pipes which confirming IS 1239(part I) 1990. At the time of applying for final Fire NOC</p> <p>2) For sr. no3 , License agency shall produce the "TEST CERTIFICATE" OF complete assembly of landing valve confirming IS 5290 at the time of applying for final fire NOC</p>				
7.	Manually operated Electronic fire Alarm system with talk back system	Required. 1) In entire building 2) Covered Podium	As per IS 2189	Required at each floor at strategic location and indication shall be received at ground floor (with battery back-up for continuous running.)
8.	Automatic detection and Alarm System	Required in entire building 1. In car parking area, in stilts, commercial area, in meter room & electrical duct & lift machine room, in commercial & flat. 2. Common lift lobby area on each floor & covered podium area. 3. CO/ multi detector shall be preferred Car parking area on ground and Podium floor.		As mentioned in code of practice IS 2189 selection, installation and maintenance of Automatic fire detection and alarm system.
9.	Fire Pump Room	Required.	Pump room shall be provide to kept /installed the fire pumps & peripheral installation at one place.	

10.	Under ground water Tank	Required	Common water tank of 250087 ltrs is accepted. Water storage should be used exclusively for fire fighting	
11.	Fire pumps (submersible pumps will not be accepted)	Required.	1]Main pump : 2850 LPM. 2]Stand-by pump : Diesel driven of same capacity that of main pump driven pump. 3] Sprinkler Pump : 2850 LPM 4] Jockey pump : 180 LPM (02 Nos) 5] Booster pump : 450 LPM each wing Lower levels in high rise buildings 60 m or above in height are likely to experience high pressure and therefore, it is recommended to consider multi-stage, multi-outlet pumps (creating pressure zones) or variable frequency drive pumps or any other equivalent arrangement.	
NOTE : For sr. no.11 License agency shall produce the "TEST CERTIFICATE" OF FIRE PUMPS ,ITS MOC use i.e. New brand FIRE PUMPS which confirming IS 12469(1988) At the time of applying for final Fire NOC . The Material should be corrosion resistance material equal to or better then the copper alloy like brass & bronze having minimum copper content of 80% & as mentioned in code.				
12.	Firefighting over head tank	Required	Proposed water tanks of 20095 ltrs each wing is accepted.	Water storage should be used exclusively for fire fighting
13.	Fire Resistance doors	Required	At each enclosed lobby as per IS 3614:2021 , 2hrs rated. For house Entrance 1 hrs rated as per IS 3614:2021 (please note IS 5509 (2000) Fire rated plywood doors shall not accepted.	
14.	Fire brigade connection	Required	At the entrance of main gate.	
15.	Public address system	Required	Required in the entire building	
16.	Tube fire Suppression system.	Required	Required in electric meter room to provide the fire protection to electric meters at initial stage.	
17.	Alternate source of power supply	Required	D.G. set with AMF (auto mode change over facilities) panel for fire essential services and areas such as fire lift, all staircases and common floor passage/ lobby areas/refuge area /utilities services etc.	
18.	Sign indicators.	Required at prominent places.	Sign indicator should provided at prominent places as per guideline given in IS: 9457 for safety colour and safety. IS : 12349 for fire protection safety signs. IS : 12407 for graphic symbol for fire protection plan.	
19.	Refuge Area	Required	As per NBC-2016 & UDCPR	
20.	Fire Personnel	Required	Shall have experience to use & maintain the installed fire protection system	

FEE PAID:**RESIDENTIAL CUM COMMERCIAL BUILDING G+20 floors (02 Wing) Height 65.895 mtrs**

- १) अग्निशमन विभागा मार्फत सुरवातीचा ना-ह्रकत दाखला देताना अग्निशमन कायद्यातील तरतुदीप्रमाणे अग्निशमन व आपत्कालीन सेवा शुल्क (Fire & Emergency Service Fees) आकारण्यात आलेली आहे.
- २) गोळा करण्यात आलेल्या महसुलाच तपशील खालील प्रमाणे विस्तृत स्वरूपात मांडण्यात येत आहे.

Sr. No.	Type of Fees	Occupancy	Area In sq mtrs	% of ASR	ASR	Fees paid Rs	Receipt no.
A	B	C	D	E	F	G	H
1	Fire & Emergency Service Fees	Residential	49127.86	0.50	26620/-	6538918.17/-	Receipt No. 6900000281/2023 dated 20/07/2023
		Commercial	620.340	1.00	26620/-	165134.51/-	Receipt No. 6900000282/2023 dated 20/07/2023
			49748.197			6704052.68/-	

REMARK/GENERAL CONDITIONS:-

1. No flammable / explosive materials should be store in the premises.
2. All firefighting equipment must be IS certified.
3. All service shafts in core of the building shall be sealed at each floor level.
4. All firefighting systems must be painted with P.O. red color.
5. All fire protection systems jobs must be carried out by the approved License Agency.
6. Sign boards such as 'No Smoking, Exit, Emergency Telephone Numbers and First Aid Box, etc. shall be provided at prominent places. The "No Smoking" sign board should be displayed in Marathi, Hindi and English shall be painted with glow paint only.
7. Above all addition to this, if any legal complications arrives in respect of said premises. The honorable court decision will be final & the proposal NOC may be treated as cancelled.
8. The issued NOC shall be valid for a year from dated of issue to obtained C.C. .
9. NOC is issued in fire & life safety point of view only, the legality of plot & construction & FSI shall be confirmed with concerned department only.
10. NOC obtained by producing the forge/ false documents shall be treated as null & void.


The terms and condition stipulated is as per the Maharashtra Fire Prevention and Life Safety Act 2006 and NBC-2016 CHAPTER-IV; however the statutory requirements under other sections of NBC shall be complied with. It is the responsibility of the builder/ Developer and the Architect to obtain relevant height clearance NOC from the AAI (Authority of India) before commencement of work. This proposal will become null and void if Aviation NOC from the AAI (Authority of India) is not submitted.

Pravin B. Bodke
PRAVIN B. BODKE
 FIRE OFFICER, NAINA
 CIDCO FIRE SERVICE


Copy To

- 1] M/s. STAPL Architect
- 2] Office copy.

Enclosure Nos 2. Airport NOC



भारतीय विमानपत्तन प्राधिकरण
AIRPORTS AUTHORITY OF INDIA



25
वर्ष

भारतीय विमानपत्तन प्राधिकरण
AIRPORTS AUTHORITY OF INDIA

NAVI/WEST/B/082021/571700

मालिक का नाम एवं पता Sea Queen Developers Pvt. Ltd

OWNERS Name & Address Sea Queen Heritage, Plot No. 6, Sector-18, Palm Beach Road, Sanpada, Navi Mumbai. 400705.

दिनांक/DATE: 12-10-2021

वैधता/ Valid Up to: 11-10-2029

ऊँचाई की अनुमति हेतु अनापत्ति प्रमाण पत्र/एनओसी।
No Objection Certificate for Height Clearance


1) यह अनापत्ति प्रमाण पत्र भारतीय विमानपत्तन प्राधिकरण (भाविप्रा) द्वारा प्रदत्त दायित्वों के अनुक्रम तथा सुरक्षित एवं नियमित विमान प्रचालन हेतु भारत सरकार (नागर विमानन मंत्रालय) की अधिसूचना जी. एस. आर. 751 (ई) दिनांक 30 सितम्बर, 2015, जी. एस. आर. 770 (ई) दिनांक 17 दिसम्बर 2020 द्वारा संशोधित, के प्रावधानों के अंतर्गत दिया जाता है।

1. This NOC is issued by Airports Authority of India (AAI) in pursuance of responsibility conferred by and as per the provisions of Govt. of India (Ministry of Civil Aviation) order GSR751 (E) dated 30th Sep.2015 amended by GSR770(E) dated 17th Dec 2020 for safe and Regular Aircraft Operations.

2). इस कार्यालय को निम्नलिखित विवरण के अनुसार प्रस्तुतित संरचना के निर्माण पर कोई आपत्ति नहीं है।

2. This office has no objection to the construction of the proposed structure as per the following details:

अनापत्ति प्रमाणपत्र आईडी / NOC ID	NAVI/WEST/B/082021/571700 ✓
आवेदक का नाम / Applicant Name*	Rishi Bhoir
स्थल का पता / Site Address*	Plot No. 14 and 15, Village Akurli, Taluka Panvel, District Raigad, Maharashtra, Akurli, Raigad, Maharashtra
स्थल के निर्देशांक / Site Coordinates*	19 00 20.96N 73 07 57.68E, 19 00 20.12N 73 07 57.86E, 19 00 20.44N 73 07 58.17E, 19 00 22.10N 73 07 58.32E, 19 00 21.72N 73 07 59.01E, 19 00 18.13N 73 07 59.13E, 19 00 20.53N 73 08 0.32E, 19 00 19.34N 73 08 1.07E, 19 00 23.27N 73 08 1.45E, 19 00 21.69N 73 08 1.98E, 19 00 22.21N 73 08 2.04E
स्थल की ऊँचाई एएमएसएल मीटर में (औसतन समुद्र तल से ऊपर), (जैसा आवेदक द्वारा उपलब्ध कराया गया) / Site Elevation in mtrs AMSL as submitted by Applicant*	15.32 M ✓
अनुमन्य अधिकतम ऊँचाई एएमएसएल मीटर में (औसतन समुद्र तल से ऊपर) / Permissible Top Elevation in mtrs Above Mean Sea Level (AMSL.)	54.32 M ✓



क्षेत्र पोर्ट केबिंस, नई एयरपोर्ट कॉलोनी, हनुमान रोड के सामने, विलेपारले ईस्ट
मुंबई- 400099 दूरभाष संख्या 91-22-28300606

Regional Headquarters Western Region, Porta Cabins, New Airport Colony, Opposite Hanuman Road, Vile Parle East
Mumbai-400099 Tel. no. 91-22-28300606



भारतीय विमानपत्तन प्राधिकरण AIRPORTS AUTHORITY OF INDIA

NAVI/WEST/B/082021/571700

क्षेत्र का नाम / Region Name: पश्चिम/WEST

पदनामित अधिकारी/Designated Officer नाम/ पदनाम/दिनांक सहित हस्ताक्षर Name/Designation/Sign with date	 12/10/2021 मूसा टी. एफ. / MOOSA T. F. सहायक (ए.टी.एम.), पश्चिमी क्षेत्र General Manager (A.T.M.), Western Region भारतीय विमानपत्तन प्राधिकरण / Airports Authority of India मुम्बई / Mumbai - 400 099.
द्वारा तैयार Prepared by	 12/10/2021 NIRAT GUPTA MANAGER (A.T.M.)
द्वारा जाँचा गया Verified by	 12/10/2021 Anil Kumar AC/ADMIN/045

ईमेल आईडी / EMAIL ID : nocwr@aai.aero
फोन/ Ph: 022-28300656

ANNEXURE/अनुलग्नक

Distance From Nearest Airport And Bearing/निकटतम विमानक्षेत्र से दूरी और बीयरिंग

Airport Name/ विमानक्षेत्र का नाम	Distance (Meters) from Nearest ARP/निकटतम विमानक्षेत्र संदर्भ बिंदु से दूरी (मीटर में)	Bearing(Degree) from Nearest ARP/निकटतम विमानक्षेत्र संदर्भ बिंदु से बीयरिंग (डिग्री)
Juhu	33049.69	108.55
Navi Mumbai	6694.32	79.71
Santa Cruz	29639.92	109.32
NOCID	NAVI/WEST/B/082021/571700	

Enclosure Nos 3 Parking Statement

PARKING STATEMENT			
BUILDING TYPE		FLAT NOS	REQ. PARKING
RESIDENTIAL	1/2 tenements with carpet area exceeding 60 sq.m.	276	552
COMMERCIAL	One car parking space for every 40 sq.mt. of floor area upto 800 sq.mt. and one parking space for every 80 sq.mt. of space for area exceeding 800 sq.mt. ($800/40 = 20$) ($620.34/40 = 15.50$)		16
TOTAL PARKINGS			568
REQUIRED VISITORS PARKING 10 %			57
TOTAL REQUIRED CAR PARKINGS			625
TOTAL PROPOSED CARS			629
BIG CARS			525
SMALL CARS			104
PERMISSIBLE SMALL CARS 50% SPACE			312
REQUIRED TWO WHEELER PARKINGS ($12.5 \times$ TOTAL REQUIRED CAR PARKING = $12.5 \times 624 = 7800.00$ X 10% = $780.00/2$)			390
PROPOSED TWO WHEELER PARKINGS			400

EV PARKING STATEMENT

Floor	Proposed Parking		Proposed EV Parking (25 %)	
	4-Wheler Parking	2-Wheler Parking	EV 4-Wheler Parking	EV 2-Wheler Parking
Ground	338	-	85	-
First Floor	291	-	73	-
Second Floor	-	400	-	100
Total	629	400	158	100

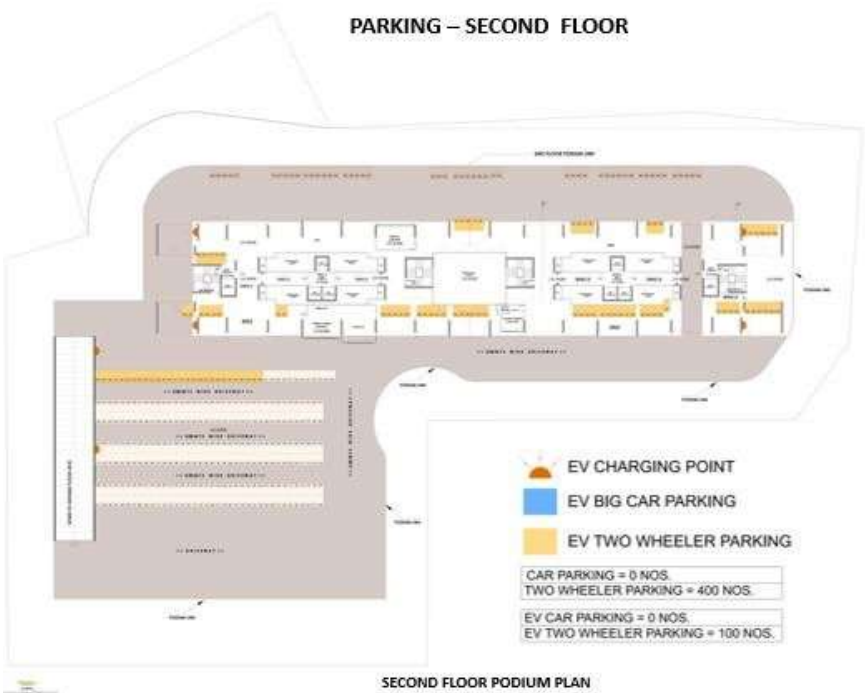
PARKING – GROUND FLOOR



PARKING – FIRST FLOOR



PARKING – SECOND FLOOR

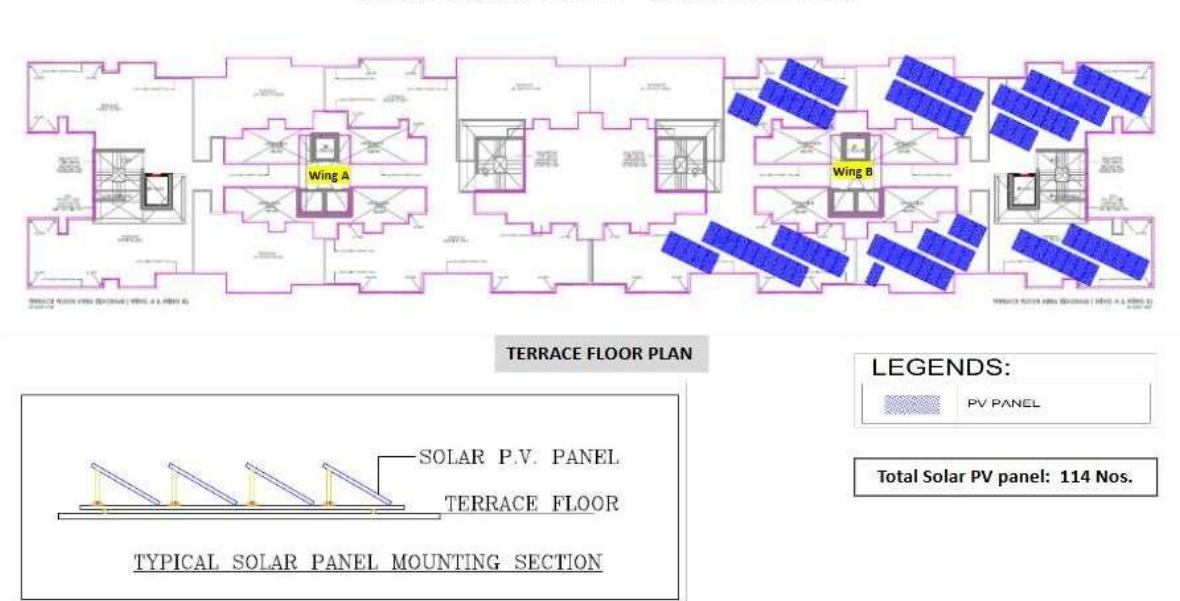


Enclosure Nos 04

Energy Saving

Demand load of the project	1026 kW
Total Roof Area	1756 Sq. m.
Available area for Solar PV panels	1229.20 Sq. m. (70 % of the roof area shadow free)
Total No. of Panels proposed	114 (450wp)
Area in Sq. m. required for 1 KW Solar PV panel	10 Sq. m.
Area required for Solar Panels	1140 Sq. m.
Total Renewal Energy Generation	51 kWp
Total % of Energy Generation on Solar	5 % Energy is generated by solar PV panels to cater lighting load for common areas

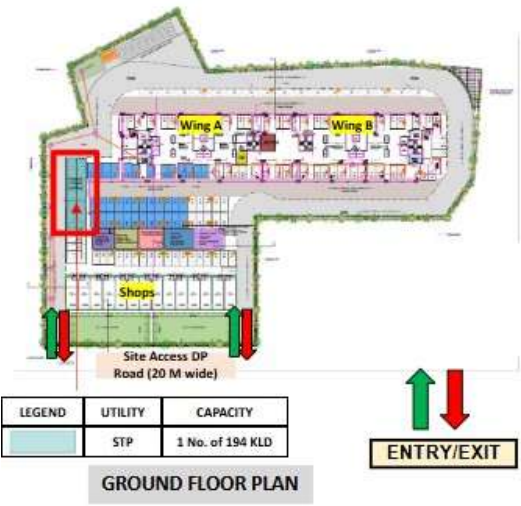
SOLAR PANEL LAYOUT – TERRACE FLOOR



Enclosure no 05 STP



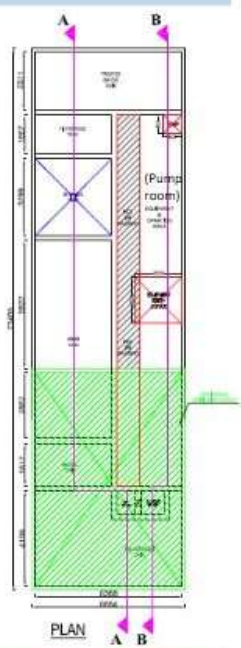
STP PLAN & TANK DETAILS- 194 KLD



TANKS DETAILS

Description	Volume (M3)	Retention Time (Hrs.)
Bar Screen Cum Chamber	2.4	0.136
Equalization Tank	67	8
MBBR Tank	67	8
Anoxic Tank	17	2
Settling Tank	30	3
Filter Feed Tank	17	2
Treated W/W Tank	42	5

STP (194 KLD) LAYOUT

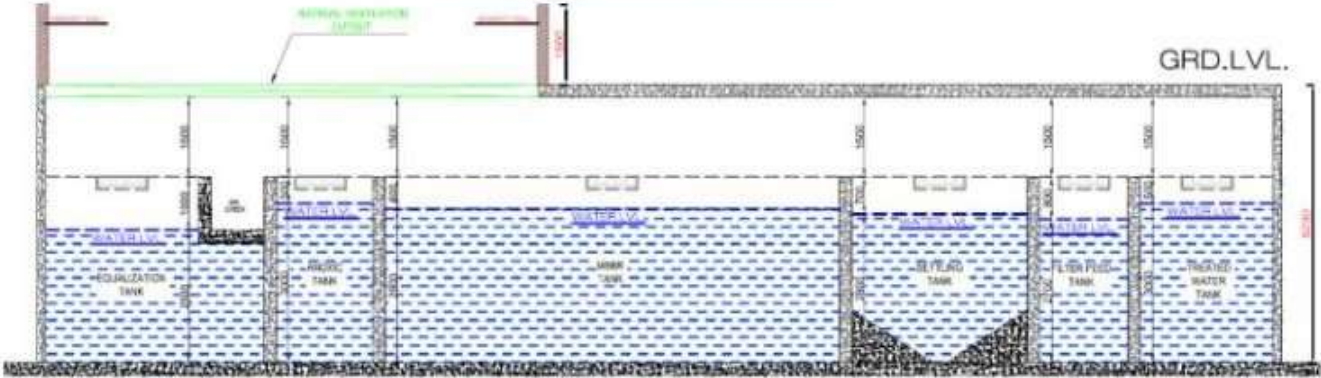


CUTOUT % DETAILS

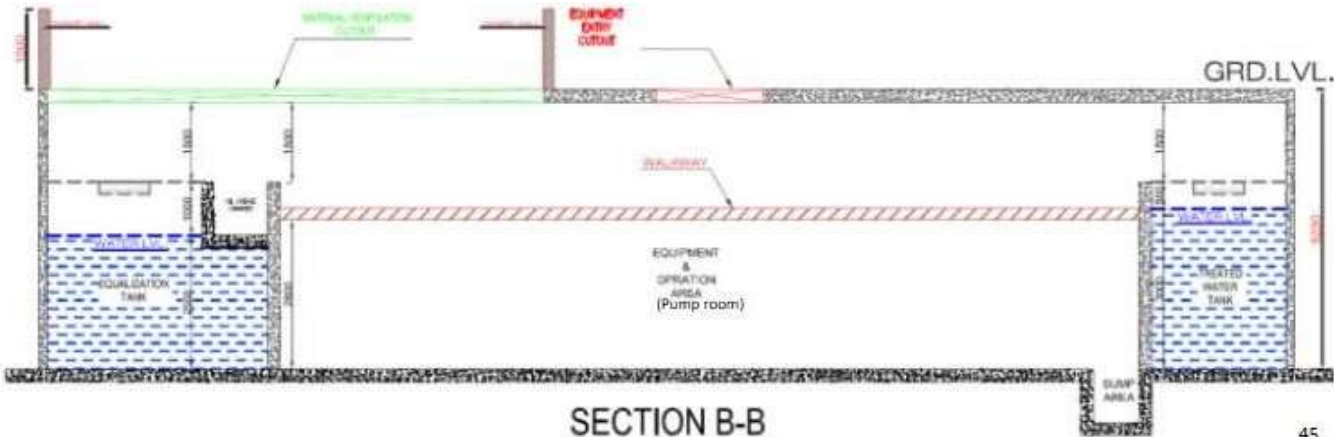
Sr. No.	Description	Area
1.	Total STP Area (Sq. m.)	154.56
2.	Cut Out Area (Sq. m.)	61.82
3.	Cutout % of natural ventilation	40 %

STP SECTION PLAN- 194 KLD

STP (194 KLD) SECTION LAYOUT

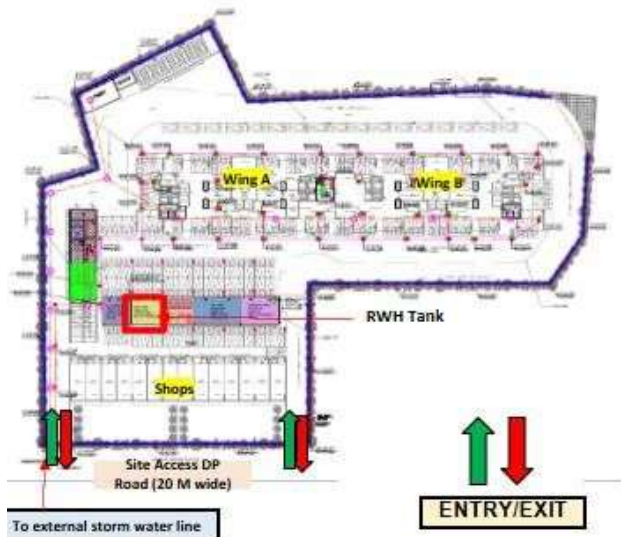


SECTION A-A



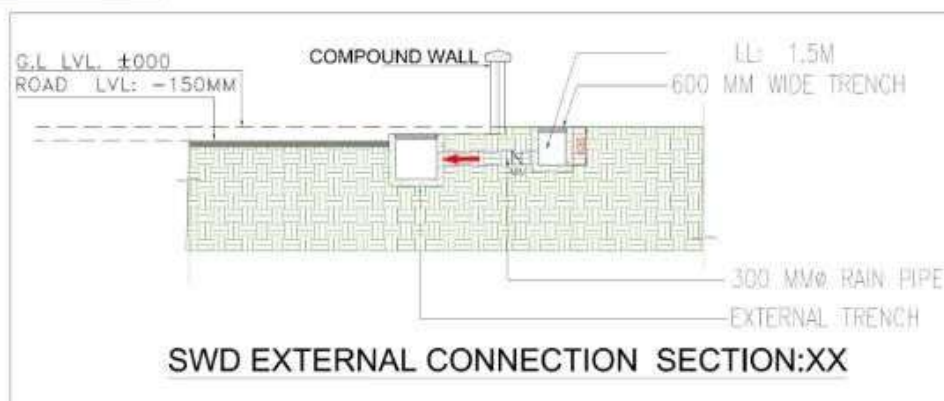
SECTION B-B

LAYOUT SHOWING RWH TANK & SWD NETWORK - GROUND



GROUND FLOOR PLAN

LEGEND: MEP	
SYMBOL	DESCRIPTION
	900MMX450MM INSPECTION CHAMBER
	300MMX300MM GULLY TRAP
	SLWLR PIPE
	DIRECTION
	300 / 450 & 600 MM WIDE STORM WATER TRENCH
	900X900X1200 ELE. CHAMBER
	300MMØ FOAM CORE PIPE FOR LV
	300MMØ FOAM CORE PIPE FOR ELECTRICAL
	200MMØ FOAM CORE PIPE FOR ELECTRICAL
	TAG BOX



SWD EXTERNAL CONNECTION SECTION:XX

Enclosure No.06 Nos Dust Mitigation



Sea Queen Heritage, Plot No. 6, Sector - 18, Palm Beach Service Road, Sanpada, Navi Mumbai - 400 705
Tel : +91 22 49639871 / 3 | marketingmumbai@nationalbuilders.in / Website : www.nationalbuilders.in
Date: 05.01.2024

To,
The Chairman,
State Environment Impact Assessment Authority (SEIAA),
601, 6th Floor, NKM International House,
177 Babubhai Chinoy Marg, Nariman Point,
Mumbai - 400020, Maharashtra

Subject: Undertaking to Adhere to Dust Mitigation Guidelines.

Respected Sir,

I, M.C. Sunny (Managing Director) in M/s. Sea Queen Developers Pvt. Ltd., hereby to address the dust mitigation guidelines issued by the planning authority. We confirm our unwavering commitment to fully comply with and implement the stipulated guidelines to effectively mitigate dust emissions. M/s. Sea Queen Developers Pvt. Ltd., is dedicated to executing the necessary measures to control and minimize dust emissions originating from our proposed development of residential cum commercial building "National Mount View" at Plot No. 14 & 15, Naina TPS-1, Akurli, Panvel, Raigad, Maharashtra.

To ensure strict compliance, we have estimated the cost of implementing the dust mitigation measures to be approximately 30 lakhs. M/s. Sea Queen Developers Pvt. Ltd., is fully prepared to allocate this budget specifically for the purpose of implementing the measures outlined by the planning authority.

Thanking you.

Yours faithfully,
For, M/s. Sea Queen Developers Pvt. Ltd.


Managing Director


Enclosure No.07Nos Environment Clearance Copy



Government of India
Ministry of Environment, Forest and Climate Change
(Issued by the State Environment Impact Assessment
Authority(SEIAA), MAHARASHTRA)

To,

The Managing Director
SEA QUEEN DEVELOPERS PVT. LTD.
Sea Queen Heritage, Plot No. 06, Sector-18, Palm Beach Service Road,
Sanpada, Navi Mumbai -400705

Subject: Grant of Environmental Clearance (EC) to the proposed Project Activity
under the provision of EIA Notification 2006-regarding

Sir/Madam,

This is in reference to your application for Environmental Clearance (EC)
in respect of project submitted to the SEIAA vide proposal number
SIA/MH/INFRA2/449139/2023 dated 26 Oct 2023. The particulars of the
environmental clearance granted to the project are as below.

1. EC Identification No.	EC24B038MH110419
2. File No.	SIA/MH/INFRA2/449139/2023
3. Project Type	New
4. Category	B
5. Project/Activity including Schedule No.	8(a) Building and Construction projects
6. Name of Project	Proposed residential cum commercial building "National Mount View"
7. Name of Company/Organization	SEA QUEEN DEVELOPERS PVT. LTD.
8. Location of Project	MAHARASHTRA
9. TOR Date	N/A

The project details along with terms and conditions are appended herewith from page
no 2 onwards.

Date: 08/02/2024

(e-signed)
Pravin C. Darade, I.A.S.
Member Secretary
SEIAA - (MAHARASHTRA)

*Note: A valid environmental clearance shall be one that has EC identification
number & E-Sign generated from PARIVESH. Please quote identification
number in all future correspondence.*

This is a computer generated cover page.

STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

No. SIA/MH/INFRA2/449139/2023
Environment & Climate
Change Department
Room No. 217, 2nd Floor,
Mantralaya, Mumbai- 400032.

To
M/s. Sea Queen Developers Pvt. Ltd.
Plot No. 14 & 15 of NAINA TPS-1,
Village- Akurli, Taluka- Panvel,
District- Raigad.

Subject : Environmental Clearance for proposed residential cum commercial building "National Mount View" at Plot No. 14 & 15 of NAINA TPS-1, Village- Akurli, Taluka- Panvel, District- Raigad by M/s. Sea Queen Developers Pvt. Ltd.

Reference : Application no. SIA/MH/INFRA2/449139/2023

This has reference to your communication on the above-mentioned subject. The proposal was considered by the SEAC-2 in its 220th meeting under screening category 8 (a) B2 as per EIA Notification, 2006 and recommend to SEIAA. Proposal then considered in 274th meeting of State Level Environment Impact Assessment Authority (SEIAA) held on 8th January, 2024.

2. Brief Information of the project submitted by you is as below:-

Sr. No.	Description	Details	
1.	Proposal Number	SIA/MH/INFRA2/449139/2023, Dated: 26.10.2023	
2.	Name of Project	Proposed residential cum commercial building National Mount View	
3.	Project category	8 (a) Building and Construction, B2	
4.	Type of Institution	Private	
5.	Project Proponent	Name	M/s. Sea Queen Developers Pvt. Ltd.
		Regd. Office address	Sea Queen Heritage, Plot No. 06, Sector-18, Palm Beach Service Road, Sanpada, Navi Mumbai-400705
		Contact number	9820641612
		e-mail	seaqueendevloperspvtltd@gmail.com
6.	Consultant	M/s. Kesari Infra build Pvt. Ltd. NABET Accreditation number: NABET/EIA/2225/IA 0103- Valid till 12.10.2025	
7.	Applied for	Fresh EC	

8.	Location of the project	Plot No. 14 & 15, Naina TPS-1, Akurli, Panvel, Raigad, Maharashtra				
9.	Latitude and Longitude	Latitude: 19° 0'20.45"N Longitude: 73° 7'59.50"E				
10.	Plot Area (Sq. m.)	10148.00				
11.	Deductions (Sq. m.)	0.00				
12.	Net Plot area (Sq. m.)	10148.00				
13.	Ground coverage (m ²) & %	6076.365 (59.88 %)				
14.	FSI Area (Sq. m.)	25260.826				
15.	Non-FSI (Sq. m.)	24739.174				
16.	Proposed built-up area (FSI + Non FSI) (Sq. m.)	50000.000				
17.	T BUA (m ²) approved by Planning Authority till date	LOI application is in process				
18.	Earlier EC details with Total Construction area, if any.	--				
19.	Construction completed as per earlier EC (FSI + Non FSI) (Sq. m.)	--				
20.	Previous EC / Existing Building		Proposed Configuration			Reason for Modification / Change
	Buildi ng Name	Configurat ion	Heig ht (m)	Building Name	Configurati on	Height (m)
	--	--	--	1 Residenti al cum commerci al building having 2 wings (A & B Wing)	Wing A: Ground Floor (Stilt parking + Commercial) + 1 st & 2 nd floor podium (Parking) + 3 rd to 20 th Floor (Residential Flats) Wing B: Ground Floor (Stilt parking + Commercial) + 1 st & 2 nd floor podium	65.895 M up to terrace level and 70.445 M up to top OHT level 65.895 M up to terrace level and 70.445 M up to top

					(Parking) + 3 rd to 20 th Floor (Residential Flats)	OHT level	
21.	No. of Tenements & Shops	Flats: 276 Nos. Shops: 14 Nos. Total Units (Flats + Shops): 290 Nos.					
22.	Total Population	Flats: 1452 Nos. Shops: 42 Nos. Total: 1494 Nos.					
23.	Total Water Requirements CMD	Domestic: 131 Flushing: 67 Landscaping: 06 Total water requirement: 204					
24.	Under Ground Tank (UGT) location	Under Ground Domestic Tank: 2 no. of total capacity 195.60 KL Flushing Tank: 2 no. of total capacity 142.20 KL Fire Tank: 1 no. of total capacity 250.00 KL RWH Tank: 1 no. of total capacity 158 KL					
25.	Source of water	NAINA, Treated water from STP & Tanker					
26.	STP Capacity & Technology	194 CMD STP based on MBBR technology					
27.	STP Location	Ground					
28.	Sewage Generation CMD & % of sewage discharge in sewer line	Sewage generation: 185 CMD Treated water: 176 CMD & 35% (62 CMD) shall be discharged in sewer line					
29.	Solid Waste Management during Construction Phase	type	Quantity (Kg/d)	Treatment / disposal			
		Dry waste	15	It will be handed over to authorize recycler for further handling & disposal purpose.			
		Wet waste	10	It will be handed over to authorize			

				recycler for further handling & disposal purpose.
		Construction waste	The Construction waste generated during construction shall be segregated, reused on site and surplus shall be led to scrap dealers for recycling.	
30.	Total Solid Waste Quantities with type during Operation Phase & Capacity of OWC to be installed	Type	Quantity (Kg/d)	Treatment / disposal
		Dry waste	398	To NAINA
		Wet waste	266	Treatment by Organic Waste Converter
31.	R.G. Area in Sq. m.	RG required- Not required as per Schedule -2 preliminary town planning scheme NAINA No. - 1 (Notification number -TPS-1219/1865/CR-108/19/UD-12, Dated 3/9/2019 provision of RG area within the plot is not required on ground RG provided on Mother earth- 650.609 Sq. m. RG provided on ground- -- RG provided on podium- Total- 650.609 Sq. m. Existing trees in layout: 11 No. of trees to be cut: 11 Nos. {55 trees will be planted against 11 trees cut (5 trees against 1 tree cut)} Number of trees to be transplanted: -- Number of trees to be planted: a) In RG area: 135 Nos. (Periphery tree plantation) b) In Miyawaki Plantation (with area): 198 trees in 66.933 Sq. m. Total No. Trees will be planted: 388 Nos.		
32.	Power requirement	During Operation Phase: Details Connected load (kW) 2162 Demand load (kW) 1026		
33.	Energy Efficiency	a) Total Energy saving (%): 20.5 b) Solar energy (%): 5		
34.	D.G. set capacity	350 kVA		

35.	No. of 4-W & 2-W Parking with 25% EV	2 W Required: 390 Nos. Proposed: 400 Nos. 4 W Required: 625 Nos. Proposed: 629 Nos.
36.	No. & capacity of Rain water harvesting tanks /Pits	1 tank of 158 Cu. m. RWH tank
37.	Project Cost in (Cr.)	130.67 Crores
38.	EMP Cost	Construction Phase: Rs. 69.5 Lakhs. /Annum. Operation Phase: 1.Capital Cost: Rs. 437.71 Lakhs. 2.O & M Cost: Rs. 40.85 Lakhs/Annum.
39.	CER Details with justification if any....as per MoEF&CC circular dated 01/05/2018	Not Applicable
40.	Details of Court Cases/litigations w.r.t the project and project location, if any.	Not Applicable

3. The proposal has been considered by SEIAA in its 274th meeting held on 8th January, 2024 and decided to accord Environment Clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implantation of following terms and conditions-

Specific Conditions:

A. SEAC Conditions-

- 1.PP to submit IOD/IOA/Concession Document/Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions thereunder as per the circular dated 30.01.2014 issued by the Environment Department, Govt. of Maharashtra.
- 2.PP to submit following NOCs & remarks:
 - a) Water supply; b) Sewer Connection NOC; c) SWD NOC; d) Tree NOC; e) Revised Civil Aviation NOC; f) Final CFO NOC; g) C & D/SWM NOC.
- 3.Planning authority to ensure that assured water supply, sewer and storm water drainage network is made available in the vicinity of the project before issuing occupation certificate to the project.

4. PP to increase 2-Wheeler parking the project considering the socio-economic status around the project; PP to ensure that minimum 25% 2-wheeler and 4-wheeler parking are equipped with electric charging facility.
5. PP to submit revised energy calculation considering correct terrace area calculations and non-shaded terrace area & ensure minimum 5% energy saving from renewable sources and 20% overall energy saving in the project.
6. PP to relocate parking adjacent to the STP, DG set as well as proposed on the UGTs.
7. PP to relocate flushing tank adjacent to the STP.
8. PP to submit bifurcation of mitigation measures along with their cost for reducing air pollution and submit revised EMP of construction phase accordingly.

B. SEIAA Conditions-

1. PP submitted that, as per Schedule -2 preliminary town planning scheme NAINA No. - 1 Notification number -TPS-1219/1865/CR-108/19/UD-12, Dated 03/09/2019 provision of RG area within the plot is not required on ground. Local planning authority to ensure the validity of the same.
2. This EC is restricted up to 39.00 m height as per Civil Aviation NOC.
3. PP to keep open space unpaved so as to ensure permeability of water. However, whenever paving is deemed necessary, PP to provide grass pavers of suitable types & strength to increase the water permeable area as well as to allow effective fire tender movement.
4. PP to achieve at least 5% of total energy requirement from solar/other renewable sources.
5. PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA III dt.04.01.2019.
6. SEIAA after deliberation decided to grant EC for-FSI-25260.826 m², Non FSI-24407.786 m², total BUA-49,668.612 m². (Plan approval No-CIDCO/Plng/NAINA/Panvel/Akurli/TPS-1/IOD-001/140, Dated:23.11.2023) (FSI restricted as per appraisal and non FSI as per approval)

General Conditions:

a) Construction Phase :-

- I. The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. Disposal of muck, Construction spoils, including bituminous material during construction phase should not create any adverse effect on the neighbouring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in the approved sites with the approval of competent authority.
- III. Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
- IV. Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of

wastewater and solid wastes generated during the construction phase should be ensured.

- V. Arrangement shall be made that waste water and storm water do not get mixed.
- VI. Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.
- VII. The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
- VIII. Permission to draw ground water for construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
- IX. Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
- X. The Energy Conservation Building code shall be strictly adhered to.
- XI. All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
- XII. Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- XIII. Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
- XIV. PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.
- XV. The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
- XVI. Vehicles hired for transportation of Raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.
- XVII. Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- XVIII. Diesel power generating sets proposed as source of backup power for elevators and common area illumination during construction phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel is preferred. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- XIX. Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by a separate environment cell /designated person.

B) Operation phase:-

- I. a) The solid waste generated should be properly collected and segregated. b) Wet waste should be treated by Organic Waste Converter and treated waste (manure) should be

utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. c) Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.

- II. E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
- III. a) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Treatment of 100% grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP. b) PP to give 100 % treatment to sewage /Liquid waste and explore the possibility to recycle at least 50 % of water, Local authority should ensure this.
- IV. Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement.
- V. The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
- VI. Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
- VII. PP to provide adequate electric charging points for electric vehicles (EVs).
- VIII. Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
- IX. A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
- X. Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes.
- XI. The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at parivesh.nic.in
- XII. A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
- XIII. The proponent shall upload the status of compliance of the stipulated EC conditions,

including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO₂, NO_x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.

C) General EC Conditions:-

- I. PP has to strictly abide by the conditions stipulated by SEAC & SEIAA.
 - II. If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
 - III. Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
 - IV. The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
 - V. The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
 - VI. No further Expansion or modifications, other than mentioned in the EIA Notification, 2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.
 - VII. This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
5. This Environment Clearance is issued purely from an environment point of view without prejudice to any court cases and all other applicable permissions/ NOCs shall be obtained before starting proposed work at site.
6. In case of submission of false document and non-compliance of stipulated conditions,

Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.

7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, amended from time to time.

8. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.

9. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D-Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.



Pravin Darade
(Member Secretary, SEIAA)

Copy to:

1. Chairman, SEIAA, Mumbai.
2. Secretary, MoEF & CC, IA- Division MOEF & CC
3. Member Secretary, Maharashtra Pollution Control Board, Mumbai.
4. Regional Office MoEF & CC, Nagpur
5. District Collector, Raigad.
6. Commissioner, Panvel Municipal Corporation
7. Regional Officer, Maharashtra Pollution Control Board, Navi Mumbai.

Enclosure No 08 Monitoring Report



A-7/2/C-11, Capital City, Talwade - Chakan Road, Chakan MIDC, PH-IV,
Village Nighe, Tal. Khed, Dist. Pune-410 501, Maharashtra
Mob+ 9545084620, 8421365421 CIN No. : U74900(PN2013PTC149666
E-mail : envirosafeyeng@gmail.com, geseec12@gmail.com

Recognised by Ministry of Environment and Forests (MoEF) / Central Pollution Control Board Govt. of India (CPCB)
ISO 9001:2015, ISO 45001 : 2018 and ISO 14001 : 2015 Certified Company

TEST REPORT				
Test Report No: -	GESEC/PRO/AAQM/2025-26/11/479	Report Date	10.11.2025	
Sample ID: -	GESEC/PRO/AAQM/2025-26/11/479			
Name & Address of the Customer	M/s. SEAUQUEEN DEVELOPERS P-L PLOT NO. 14 & 15, NAINA TPS-1, AKURLI, PANVEL RAIGAD MAHARASHTRA			
Ambient Air Sample Details				
Type	Sampling Location	Sampling done by		
Ambient Air	Near Main Gate	Green EnviroSAFE Engineers & Consultant Pvt. Ltd, Pune		
Sampling Time				
Start Time	Stop Time	Total Hrs.		
10.15 am	10.15 am	24 Hrs.		
Meteorological Data/Environmental Conditions				
Ambient Temperature °C	34.0	Wet Bulb Temperature °C	24.5	
Dry Bulb Temperature °C	34.0	Relative Humidity % RH	43.2	
Date of Sampling				
Date of Sampling	Sample Receipt Date	Analysis Start Date	Analysis End Date	
05.11.2025 To 06.11.2025	06.11.2025	06.11.2025	10.11.2025	
Name Of Instrument				
Name Of Instrument	Fine Particulate Sampler	Date Of Calibration	25/04/2025	
Instrument ID No.	FDS 2021-22/76/ GESEC/Lab/Inst/76	Due Date of Calibration	24/04/2026	
Parameters				
Parameters	Method	Unit	NAAQ Standards	Result
Sulphur Dioxide (SO ₂)	CPCB Guidelines, Volume I, 36/2012-13, Page no. 01	µg/m ³	≤ 80	25.12
Oxides of Nitrogen (NO ₂)	CPCB Guidelines, Volume I, 36/2012-13, Page no. 07	µg/m ³	≤ 80	28.02
Particulate Matter PM ₁₀	CPCB Guidelines, Volume I, 36/2012-13, Page no. 11	µg/m ³	≤ 100	41.27
Particulate Matter PM _{2.5}	CPCB Guidelines, Volume I, 36/2012-13, Page no. 15	µg/m ³	≤ 60	24.82
Ozone(O ₃) For 1 Hrs.	CPCB Guidelines, Volume I, 36/2012-13, Page no. 31	µg/m ³	≤ 180	11.27
Ammonia (NH ₃) For 24 Hrs.	CPCB Guidelines, Volume I, 36/2012-13, Page no. 35	µg/m ³	≤ 400	11.02
Carbon Monoxide (CO)	CPCB Guidelines, Volume I, 37/2012-13, Page no. 16	mg/m ³	≤ 04	0.55
Benzene (C ₆ H ₆)	Method TO-17	µg/m ³	≤ 05	<0.5
Benzo(a)Pyrene (BaP)	CPCB Guidelines, Volume I, 36/2012-13, Page no. 40	ng/m ³	≤ 01	<0.02
Arsenic (As)	MASA-822 3rd Edition	ng/m ³	≤ 06	<0.3
Nickel (Ni)	MASA-822 3rd Edition	ng/m ³	≤ 20	<0.3
Lead (Pb)	MASA-822 3rd Edition	µg/m ³	<1.0	<0.003
Note -				
➤ All above results are within National Ambient Air Quality standards.				

END OF REPORT



Mr. Vinod Hande
(Technical Manager)
Reviewed & Authorized By

Page 1 of 1

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- The results shown in this test report may differ based on various factors including temperature, humidity, pressure, retention time etc.
- This test report cannot be reproduced wholly or in part and cannot be used for promotional or publicity purpose without the written consent of laboratory, GESEC.
- Samples will be retained for a period of seven (7) days after completion of analysis. Longer retention periods can be arranged, on request of the customer.
- We strictly maintain the confidentiality of all test result of sample(s) collected by and supplied by customer and not reveal to third party unless required by the statutory or legal requirement.
- If on site there is no proper sampling location, Source or port available the results of testing are not challenge.
- MoEF approved Lab by Govt. of India. 181 28/02/2026 and NABL approved by Quality Council of India. 181 28/02/2026.

Recognised by Ministry of Environment and Forests (MoEF) / Central Pollution Control Board Govt. of India (CPCB)
ISO 9001:2015, ISO 45001 : 2018 and ISO 14001 : 2015 Certified Company

TEST REPORT				
Test Report No: -	GESEC/PRO/ANLM/2025-26/11/480		Report Date	13.11.2025
Sample ID: -	GESEC/PRO/ANLM/2025-26/11/480			
Name & Address of the Customer	M/s. SEAQUEEN DEVELOPERS P-L PLOT NO. 14 & 15, NAINA TPS-1, AKURLI, PANVEL RAIGAD MAHARASHTRA			
Ambient Noise Sample Details				
Type	Ambient Noise			
Sampling done by	Green Envirosafe Engineers & Consultant Pvt. Ltd, Pune			
Standard method	As Per IS: 9989:2020			
Date of Sampling	Sample Receipt Date	Analysis Start Date	Analysis End Date	
05.11.2025	--	--	--	
Name of Instrument	Sound Level Meter	Date of Calibration	14/02/2025	
Calibration Certificate No.	GESEC/LAB/INST/29	Due Date of Calibration	13/02/2026	
Test Location	Unit	Average Noise Level Readings		CPCB Standards dB(A)
		Day	Night	
Near Main Gate	dB (A)	62.3	53.4	During Day time = 75 dB (A) During Night time = 70 dB (A)
Note - ✓ All above Noise level results are within Central Pollution Control Board Standards limit. ✓ Day/Night -75/70 dB.				
		 Mr. Vinod Hande (Technical Manager) Reviewed & Authorized By		

END OF REPORT

Page 1 of 1

Terms and conditions

- The report is refer only to the sample tested and not applies to the bulk.
- The results shown in this test report may differ based on various factors including temperature, humidity, pressure, retention time etc.
- The test report cannot be reproduced wholly or in part and cannot be used for promotional or publicity purpose without the written consent of laboratory, GESEC.
- Samples will be retained for a period of seven (7) days after completion of analysis. Longer retention periods can be arranged, on request of the customer.
- We strictly maintain the confidentiality of all test result of sample(s) collected by us/ supplied by customer and not reveal to third party unless required by the statutory or legal requirement.
- If on site there is no proper sampling location, Source or port available the results of testing are not challenge.
- MoEF approved Lab by Govt. of India, till 28/02/2026 and NABL approved by Quality Council of India, till 28/02/2026.

TEST REPORT				
Test Report No: GESEC/PRO/DW/2025-26/11/481	Report Date	10.11.2025		
Sample ID : GESEC/PRO/DW/2025-26/11/481	Sample Details	Drinking Water		
Name and Address of the Customer:	Type of Sample	Drinking Water		
M/s. SEAQUEEN DEVELOPERS P-L	Volume Of Sample	1 Lit .Plastic Can		
PLOT NO. 14 & 15, NAINA TPS-1, AKURLI,	Sample Status	Sealed		
PANVEL RAIGAD MAHARASHTRA	Sample Collected By	Green Envirosafe Engineers & Consultant Pvt. Ltd, Pune		
	Date of Sample Collection	05.11.2025		
	Date of Sample Received in lab	06.11.2025		
	Analysis Start Date	06.11.2025		
	Analysis End Date	10.11.2025		
WATER ANALYSIS REPORT				
Parameters	Results	Limits as per IS 10500:2012	Unit	Standard Method
Physical Parameter				
Turbidity	<0.1	Max 1	NTU	APHA 2130 B 24 th Edition:2023
Total Dissolved Solids	40.0	Max 500	mg/l	APHA 2540 C 24 th Edition:2023
Odor	Agreeable	Agreeable	--	APHA 2150 24 th Edition:2023
Color	<5	Max 5	Hazen	APHA 2120 B 24 th Edition:2023
Chemical Parameter				
pH at 25 °C	7.24	6.5 to 8.5	--	APHA 4500 H+ B 24 th Edition:2023
Total Hardness	12.5	Max 200	mg/l	APHA 2340 C 24 th Edition:2023
Total Alkalinity	14.5	Max 200	mg/l	APHA 2320 B 24 th Edition:2023
Sulphate	6.25	Max 200	mg/l	APHA 4500-SO4 - E 24 th Edition:2023
Chloride	13.12	Max 250	mg/l	APHA 4500-Cl-B 24 th Edition:2023
Calcium	3.69	Max 75	mg/l	APHA 3500-Ca B 24 th Edition:2023
Magnesium	1.25	Max 30	mg/l	IS 3025 (Part 46):2023
Residual Chlorine	<0.1	Min 0.2	mg/l	EPA 334.0
Elemental Analysis				
Iron as Fe	<0.1	Max 0.3	mg/l	EPA200.7
Microbiological Parameter				
Total Coliform	Absent	Absent	/100 ml	APHA 9222 J 24 th Edition:2023
E.coli.	Absent	Absent	/100 ml	APHA 9222 J 24 th Edition:2023
Remark(s):				
➤ The above water sample is Comply with required limit as per IS 10500:2012 for above tested parameters.				

END OF REPORT



Hande
Mr. Vinod Hande
(Technical Manager)
Reviewed & Authorized By

Page 1 of 1

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- MoEF approved lab by Govt. of India, till 28/02/2026 and NABL approved by Quality Council of India, till 28/02/2026.

notices

NMMC nets Rs 366.8 Cr property tax Highest-ever quarterly collection

Staff Reporter / Belapur
THE Navi Mumbai Municipal Corporation (NMMC) has set a new benchmark in its property tax collection history by recording a whopping Rs 366.80 crore in the first quarter of the financial year 2025-26.

Municipal Commissioner Dr. Karlas Shinde expressed his gratitude to the taxpayers, acknowledging the collective efforts of property owners, NMMC staff and women from self-help groups.

"This record is a shared success. The response of Navi Mumbaiers is commendable and sets an inspiring precedent," said Dr. Shinde talking to **VASHI TIMES**.

A total of Rs 366.80 crore was collected from 1,00,587 taxpayers out of 3,47,788 property owners, from April to June 30 this fiscal. Of this, 3,488 taxpayers paid Rs 220

crore (nearly 66%) via online platforms. The last day of the quarter saw an impressive Rs 90.84 crore being paid, informed Deputy Municipal Commissioner (Property Tax) Shradha Pawar.

Nerul topped the charts, contributing Rs 74.13 crore in property tax.

Nearly 99,703 taxpayers availed themselves of the 10% early payment discount.

Bills delivered to homes played a significant role in boosting compliance, said DMC Pawar.

While residential properties contributed 33% of the total tax revenue, industrial properties also accounted for 33%, commercial properties contributed 23% and mixed-use and other properties made up the remaining 11%.

In a bid to achieve its ambitious annual collection target of Rs 1,200 crore, NMMC imple-

mented a series of citizen-friendly initiatives. These include home delivery of bills by self-help women's groups; digital payment systems and 10% rebate schemes; KYC data updates using a mobile application; a WhatsApp chatbot to access property tax bills easily.

Ironically, the 10% rebate on early payment is only on the General Tax component which is just 50% of the Property Tax bill. Moreover, the discount is not passed on instantly while making the payment, but the tax payer has to wait for one year for it to reflect in the next year's bill!

This has not gone down well

with the citizens.

"The NMMC administration is playing with words and misleading the citizens who think that the 10% rebate on early payment is on the full property tax bill, whereas it just works out to only 5%," said Vashi resident S. Justin.

Commissioner Dr. Shinde lauded the proactive role of residents in helping the corporation reach this milestone. "Timely payment of taxes is a reflection of a citizen's trust and responsibility toward the city's progress. I appeal to all defaulters to clear their dues at the earliest to avoid penalties and contribute to the city's development journey," he said.

HSRP deadline is now Aug 15

Staff Reporter / Nerul
THE Maharashtra State Transport Department has extended the deadline for installing High-Security Registration Plates (HSRPs) on vehicles registered before April 1, 2019. Vehicle owners now have until August 15, 2025, to comply with the mandate. This decision follows a tepid response to the earlier deadline of June 1, which saw only a fraction of vehicle owners act.

This is the third extension of the deadline since the initiative was launched in December 2024. The original compliance date was March 31, 2025, which was first extended to April 30, and then again to June 30.

According to the transport department, Maharashtra has around 2.10 crore vehicles that fall under the retrofitting requirement. However, as of now, only 23 lakh vehicles had been fitted with HSRPs, a compliance rate of just 11%.

Joint Transport Commissioner Shailesh Kamat urged vehicle owners to book their appointments for HSRP installation through the official website: <https://transport.maharashtra.gov.in>

He clarified that those who

book their slots before August 15 will not face any penalty, even if the installation is scheduled for a later date.

However, Kamat warned that strict enforcement would begin from August 16, with transport department speed squads authorized to impose penalties on vehicles found without the mandatory plates during routine checks.

HSRPs are tamper-proof and standardized plates introduced by the Government of India to enhance vehicle security and traceability. These plates feature a unique 10-digit laser-etched code, a chromium-based hologram, and a non-removable snap lock, making them difficult to forge or duplicate. The initiative aims to aid in theft prevention and ensure better enforcement of vehicle-related laws.

While new vehicles sold after April 1, 2019, are already equipped with factory-fitted HSRPs, older vehicles have been given multiple extensions to comply. The Transport Department emphasized that HSRP installation is mandatory across India, and non-compliance could lead to fines and legal consequences.

TENDER NOTICE

Seeking Experienced Advocates for Housing Society

Q. RESIDENCES R1 CO-OPERATIVE HOUSING SOCIETY LTD is looking forward for legal assistance and requires an experienced lawyer in the field of co-operative housing society related legal matters and litigations with reference to hand over process from developer, housing society by laws, property disputes and litigation.

- Requirements:**
- Experience and well updated with the housing society by laws.
 - Knowledge of property laws
 - Litigation experience

Interested lawyers, please contact : 8850411301

Email: societymanager.r1@gmail.com | qresidencesr1chs@gmail.com

PUBLIC NOTICE

APPOINTMENT OF PROJECT MANAGEMENT CONSULTANTS

Jivraj Tower No. 1 & 2 Co-Operative Housing Society Limited intends to undertake the redevelopment of its residential cum commercial buildings situated at Plot No. 18-20, Sector-18, Koparkhairane, New-Mumbai-400708. Plot area of 4780 sq. meters includes expression of interest from a Project Management Consultant with experience of a minimum of 10 ongoing redevelopment projects.

Eligible PMCs can collect the Request for Proposal documents from the society office and may send their offer, along with the company profile and scope of work. To collect the document, visit our society office and present a Demand Draft for the amount of Rs. 30000/- drawn in favor of JIVRAJ TOWER & 2 CO-OPERATIVE HOUSING SOCIETY LIMITED, KOPARKHAIRANE, PIN-400708. Date of the Purchase of RFP on 08.07.25 to 31.07.25.

The date for submission is between 10.07.25 to 31.07.25, 12:00 PM and 3:00 PM at the Society Office.

The Society reserves the right to accept or reject any of the RFP without assigning any reason therefor.

Secretary,
Jivraj Tower 1 & 2 CHS Limited
Sector-18, Koparkhairane,
New-Mumbai-400708
Mobile No: 9894033433/9440513095
9798141818

PUBLIC NOTICE

All the Concerned persons including bonafide residents, environmental groups, NGO's and others are hereby informed that the Ministry of Environment, Forest and Climate Change, has accorded Environmental Clearance to

M/s. Sea Queen Developers Pvt. Ltd.
Our Proposed Residential cum Commercial Building 'NATIONAL MOUNT VIEW' at address Plot Nos. 14 & 15, NAJINA TPS-1, Akurli, Panvel, Raigad, Maharashtra.

EC Letter No.: EC24B038MH110419
File No.: SIA/MH/INFRA2/449139/2023 Dt. 8.2.2024

The Copy of Clearance letter is available with the "Parivesh portal" and may also be seen on the website of the Ministry of Environment and Forest at <https://parivesh.nic.in/>

* M/S SEA QUEEN DEVELOPERS PVT. LTD.

VASHI TIMES July 5 - 11, 2025 • 9

TENDER NOTICE

Pest Control Services Required :

Q. RESIDENCES R1 CO-OPERATIVE HOUSING SOCIETY LTD seeks reliable pest control services to manage pest issues. Experienced vendors with eco-friendly solutions preferred.

Services Requirements :

Regular Pest Control Treatments

Pest Elimination

Preventive Measures

Interested vendors, please reach out!

Contact : 8850411301

Email: societymanager.r1@gmail.com | qresidencesr1chs@gmail.com

REDEVELOPMENT TENDER NOTICE

INDRAPRASTHA CHS LTD. invites sealed tender bids from reputed, experienced, and financially sound developers for the demolition and redevelopment of buildings in CIDCO/NMMC jurisdiction at Plot No. 12, Sector-10, Nerul (W), New-Mumbai (Reg. No. NBOM/CIDCO/HSG/TC/8524/JTR/2020-21, NLS Type Buildings 1 to 5).

Project Details:

• Plot Area: 4405.24 sq. mt.

• Existing Units: 80

Tender Documents: Available from July 1-15, 2025, at:

• Society Office (7:00 PM-10:00 PM)

• PWC Office, Urban Analysis and Solutions Consultancy Services, A-1307, Plot No. 18/19, Sector 15, CBD Belapur (10:30 AM-5:00 PM, working days)

Tender Document Fee: Rs. 25,000/- (Non-Refundable) via demand draft in favour of Indraprastha Cooperative Housing Society Ltd.

Submission: Sealed bids with supporting documents must be submitted between July 29-31, 2025 at the Society Office (07:00 PM-10:00 PM) or PWC Office (10:30 AM-5:00 PM, working days).

Pre-Bid: Queries can be raised by July 16, 2025, 5:00 PM. Pre-bid meeting will be on July 20, 2025, at 11:00 AM at the Society Office.

Contact:

• Anilrao Deshmukh: +91 7057957900

• Prashant More: +91 9820573153

• Shashank Gouhar: +91 9028743515

The Society reserves the right to reject any or all bids without assigning any reason.

Sd/-
Secretary, Indraprastha CHS Ltd.

PUBLIC NOTICE

It is hereby informed to the General Public at large interalia seeking an objection from those concerned with regard to the rights, claims & entitlements in respect of compensatory Plot of Land of 12.5% Scheme, which is at present stands in the name of MR. SHANKAR SHIMGYA PATIL, as the New Licensee, who is residing at Gurnauli Nwas, Plot no. 363 / 368, Sector 5, Sanpada, Navi Mumbai 400705, Taluka & District Thane, which is more particularly described as under:

SCHEDULE OF THE PROPERTY

All That Piece and Parcel of Land bearing No. 14B/32, Sector 31, in Village / Site - Belapur of 12.5% (Erethwhile Gaothan Expansion Scheme) Scheme, containing by measurement 79.43 Sq.Mtrs. of Taluka & District Thane or thereabout and bounded as follows:

- On or towards the North by : Plot No. 14B / 33,
- On or towards the South by : 9.0 Mtrs Wide Road,
- On or towards the East by : 9.0 Mtrs Wide Road,
- On or towards the West by : Plot No. 14B / 31,

My Client - MR. ASHOK CHANDU PAWAR, residing at Flat No. A/508, 5th Floor, Shree Vignahabara Apartment, House No. 1039 / 1040, Sector 7, Koparkhairane, Navi Mumbai 400709, Taluka & District Thane, is interested to acquire leasehold rights of the above described Plot of Land in his Favour by executing registered Tripartite Agreement by obtaining necessary permission from CIDCO Ltd. vide its CIDCO Office File No. Sanpada-246. Hence all those who are concerned are hereby invited to put their claims, objections in writing at the office of the undersigned during the working hours between Monday to Saturday within 15 days of publication of hereof and in the event of non receipt of any response as stated above it would be deemed that no person / party / institute / firm is having any objection in respect of the above referred Plot of Land and thereafter no claim shall be entertained with regard to the same.

Dated this 5th day of July, 2025.

Mr. RAJENDRA D. TAMBE, Advocate
Off. Add.: Unit no. 5, Raheja Arcade, Plot 61, Sector 11, CBD Belapur, Navi Mumbai 400614, Tal. & Dist. Thane
Email - rajendratambe@hotmail.com

WHILE CARE IS TAKEN PRIOR TO ACCEPTANCE OF ADVERTISING COPY, IT IS NOT ALWAYS POSSIBLE TO VERIFY ITS CONTENTS. NEW BOMBAY PUBLICATIONS PVT. LTD., PUBLISHERS OF VASHI TIMES, CANNOT BE HELD RESPONSIBLE FOR SUCH CONTENTS, NOR FOR ANY LOSS OR DAMAGE INCURRED AS A RESULT OF TRANSACTIONS WITH COMPANIES, FIRMS, ASSOCIATIONS OR INDIVIDUALS ADVERTISING IN ITS NEWSPAPERS.

PUBLIC NOTICE

All the Concerned persons including bonafide residents, environmental groups, NGO's and others are hereby informed that the Ministry of Environment, Forest and Climate Change, has accorded Environmental Clearance to

M/s. Sea Queen Developers Pvt. Ltd.

Our Proposed Residential cum Commercial Building 'NATIONAL MOUNT VIEW'

at address Plot Nos. 14 & 15, NAINA TPS-1, Akurli, Panvel, Raigad, Maharashtra.

EC Letter No.: EC24B038MH110419

File No.: SIA/MH/INFRA2/449139/2023 Dt. 8.2.2024

The Copy of Clearance letter is available with the "Parivesh portal" and may also be seen on the website of the Ministry of Environment and Forest at <https://parivesh.nic.in/>

*** M/S SEA QUEEN DEVELOPERS PVT. LTD.**

Enclosure No 10: CTE

MAHARASHTRA POLLUTION CONTROL BOARD																			
Tel: 24010706/24010437 Fax: 24023516 Website: http://mpcb.gov.in Email: cac-cell@mpcb.gov.in		Kalpataru Point, 2nd, 3rd and 4th floor, Opp. Cine Planet Cinema, Near Sion Circle, Sion (E), Mumbai-400022																	
Infrastructure/RED/L.S.I No:- Format1.0/CC/UAN No.0000231945/CE/2505003507			Date: 25/05/2025																
To, "National Mount View", Plot No.14 & 15, Nanina TPS-1, Village - Akurli, Tal. Panvel, Dist. Raigad by M/s. Sea Queen Developers Pvt. Ltd																			
Sub: Consent to Establish for Building Construction Project Granted under Red Category.																			
Ref: <ol style="list-style-type: none"> 1. Application for Consent to Establish vide UAN. MPCB-CONSENT-0000231945 2. Minutes of 2nd CC Meeting of 2025-26 dated 08/05/2025. 																			
Your application NO. MPCB-CONSENT-0000231945 For: Grant of Consent to Establish under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundary Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I, II, III & IV annexed to this order:																			
<ol style="list-style-type: none"> 1. The Consent to Establish is granted for a period upto commissioning of project or up to 5 year whichever is earlier. 2. The capital investment of the project is Rs.130.67 Cr. (As per undertaking submitted by pp). 3. The Consent to Establish is valid for Building Construction Project named as "National Mount View", Plot No.14 & 15, Nanina TPS-1, Village -Akurli, Tal. Panvel, Dist. Raigad by M/s. Sea Queen Developers Pvt. Ltd on Total Plot Area of 10148 Sq Mtrs for construction BUA of 49668.612 Sq Mtrs as per EC granted dated 08/02/2024 including utilities and services. 																			
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">Sr.No</th> <th style="width: 50%;">Permission Obtained</th> <th style="width: 20%;">Plot Area (SqMtr)</th> <th style="width: 20%;">BUA (SqMtr)</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">1</td> <td>Environmental Clearance dtd. 08/02/2024</td> <td style="text-align: center;">10148.00</td> <td style="text-align: center;">49668.61</td> </tr> </tbody> </table>					Sr.No	Permission Obtained	Plot Area (SqMtr)	BUA (SqMtr)	1	Environmental Clearance dtd. 08/02/2024	10148.00	49668.61							
Sr.No	Permission Obtained	Plot Area (SqMtr)	BUA (SqMtr)																
1	Environmental Clearance dtd. 08/02/2024	10148.00	49668.61																
<ol style="list-style-type: none"> 4. Conditions under Water (P&CP), 1974 Act for discharge of effluent: 																			
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">Sr No</th> <th style="width: 20%;">Description</th> <th style="width: 15%;">Permitted (in CMD)</th> <th style="width: 20%;">Standards to</th> <th style="width: 35%;">Disposal</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">1.</td> <td>Trade effluent</td> <td style="text-align: center;">Nil</td> <td style="text-align: center;">NA</td> <td style="text-align: center;">NA</td> </tr> <tr> <td style="text-align: center;">2.</td> <td>Domestic effluent</td> <td style="text-align: center;">185</td> <td style="text-align: center;">As per Schedule - I</td> <td>The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be connected to the sewerage system provided by local body</td> </tr> </tbody> </table>					Sr No	Description	Permitted (in CMD)	Standards to	Disposal	1.	Trade effluent	Nil	NA	NA	2.	Domestic effluent	185	As per Schedule - I	The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be connected to the sewerage system provided by local body
Sr No	Description	Permitted (in CMD)	Standards to	Disposal															
1.	Trade effluent	Nil	NA	NA															
2.	Domestic effluent	185	As per Schedule - I	The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be connected to the sewerage system provided by local body															
Proposed Residential Cum Commercial Building /CE/UAN No.MPCB-CONSENT-0000231945/Indus-16.254812 (25-05-2025 12:54:06 pm) /QMS.P06_F01/00																			

Received Consent fee of -

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	261340.00	MPCB-DR-31390	14/01/2025	RTGS

Copy to:

1. Regional Officer, MPCB, Raigad and Sub-Regional Officer, MPCB, Raigad I
- They are directed to ensure the compliance of the consent conditions.
2. Chief Accounts Officer, MPCB, Sion, Mumbai



Proposed Residential Cum Commercial Building /CE/UAH No.MPCB-CONSENT-0000231945/Indus-Id.224816
(26-05-2025 12:54:06 pm) /QMS.P06_F01/00

Page 4 of 9

SCHEDULE-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A) As per your application, you have proposed to provide MBBR based Sewage Treatment Plants (STPs) of combined capacity **194 CMD for treatment of domestic effluent of 185 CMD.**
- B) The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr.No	Parameters	Limiting concentration not to exceed in mg/l, except for pH
1	pH	5.5-9.0
2	BOD	10
3	COD	50
4	TSS	20
5	NH4 N	5
6	N-total	10
7	Fecal Coliform	less than 100

- C) The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to the sewerage system provided by local body.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) **The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act, 1974 and as amended, and other provisions as contained in the said act.**

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	204.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00
5.	Gardening/Other consumption	NA

- 5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.

SCHEDULE-II**Terms & conditions for compliance of Air Pollution Control:**

- 1) As per your application, you have proposed to provide the Air pollution control (APC) system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Stack No.	Source	APC System provided/proposed	Stack Height(in mtr)	Type of Fuel	Sulphur Content(in %)	Pollutant	Standard
1	DG Set (380 KVA)	Acoustic Enclosure	2.50	HSD 25 Ltr/Hr	1	SO ₂	36.48 Kg/Day

- 2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm ³
-------------------------	---------------	------------------------

- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement/alteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- 5) **Conditions for utilities like Kitchen, Eating Places, Canteens:-**
- The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
 - The toilet shall be provided with exhaust system connected to chimney through ducting.
 - The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
 - The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.

SCHEDULE-III
Details of Bank Guarantees:

Sr. No.	Consent(C2E/C2O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	C2E	Rs. 10.0 Lakhs	15 Days	Compliance of Consent & EC condition	Commissioning of Project	Commissioning of Project

** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.
Existing BG obtained for above purpose if any may be extended for period of validity as above.

BG Forfeiture History

Srno.	Consent (C2E/C2O/C2R)	Amount of BG Imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	Reason of BG Forfeiture
NA						

BG Return details

Srno.	Consent (C2E/C2O/C2R)	BG Imposed	Purpose of BG	Amount of BG Returned
NA				



SCHEDULE-IV

Conditions during construction phase

A	During construction phase, applicant shall provide temporary sewage and MSW treatment and disposal facility for the staff and worker quarters.
B	During construction phase, the ambient air and noise quality shall be maintained and should be closely monitored through MoEF approved laboratory.
C	Noise should be controlled to ensure that it does not exceed the prescribed standards. During night time the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

General Conditions:

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling) Rule 2011.
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
 - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - f) D.G. Set shall be operated only in case of power failure.
 - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.

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CALCULATIONS - SOLID WASTE

No.	Component	Occupancy (Nos.)	Criteria for Solid Waste Generation (Kg/Person/day)			Solid waste generated (Kg/ day)		
			Total	Dry	Wet	Dry	Wet	Total
A	Wing A							
1.	Residential Flats - 2 BHK	510	0.45	60%	40%	138	92	230
2.	Residential Flats - 3 BHK	216	0.45	60%	40%	58	39	97
B	Wing B							
1.	Residential Flats - 2 BHK	510	0.45	60%	40%	138	92	230
2.	Residential Flats - 3 BHK	216	0.45	60%	40%	58	39	97
C	Commercial							
1.	Ground Floor- Shops	42	0.25	60%	40%	6	4	10
Total (A + B + C)			--	--	--	398	266	664

Quantities (Computed as per NBC 2016):

- **Biodegradable : 266 Kg/day**
- **Non Biodegradable : 398 Kg/day**

Treatment/ Disposal :

- **Biodegradable waste:** Treatment by Organic Waste Converter (OWC)
- **Non Biodegradable waste:** To NAINA - CIDCO
- **STP Sludge (Dry sludge):** Use as manure

Considerations for solid waste generation as per National Building Code (NBC) - 2016 norms:

- *For Residential: 40 % Biodegradable garbage and 60 % Non-Biodegradable garbage out of total 0.45 Kg/person /day*
- *For Commercial: 40 % Biodegradable garbage and 60 % Non-Biodegradable garbage out of total 0.25 Kg/person /day*

Enclosure no 12 PUC

Form 59

[See rules 115 (2)]

Pollution Under Control Certificate

Authorised By :
Government of Maharashtra

Date : 14/01/2025
Time : 10:44:25 AM
Validity upto : 13/01/2026



Certificate No. : MH00401830021164
Registration No. : MH46BU3418
Date of Registration : 17/Aug/2022
Month & Year of Manufacturing : February-2022
Valid Mobile Number : *****3048
Emission Norms : BHARAT STAGE VI
Fuel : DIESEL
PUC Code : MH0040183
GSTIN :
Fees : Rs.150.00
ML observation : No

Vehicle Photo with Registration plate
60 mm x 30 mm



Sr. No.	Pollutant (as applicable)	Units (as applicable)	Emission limits	Measured Value (upto 2 decimal places)
1	2	3	4	5
Idling Emissions	Carbon Monoxide (CO)	percentage (%)		
	Hydrocarbon, (THC/HC)	ppm		
High idling emissions	CO	percentage (%)		
	RPM	RPM	2500 ± 200	
	Lambda	-	1 ± 0.03	
Smoke Density	Light absorption coefficient	1/metre	0.7	0.35
This PUC certificate is system generated through the national register of motor vehicles and does not require any signature.				

Note : 1. Vehicle owners to link their mobile numbers to registered vehicle by logging to <https://puc.parivahan.gov.in>

Authorised Signature with stamp of PUC Operator
60mm x 20 mm

Enclosure no 12 EMP

**BUDGET- ENVIRONMENT MANAGEMENT PLAN:
CONSTRUCTION PHASE**

Sr. No.	Parameter	Total Cost (Rs. Lakhs)
1.	Dust Mitigation	
	Water Spray Machine	13
	Dust Mask	0.5
	Barricading	11
	Water	3.0
	Green net	1.9
	Tarpaulin sheet	0.6
2.	PPE	6
3.	Site Sanitation Facility	5
4.	Drinking water facility	3
5.	Solid Waste Management	3.5
6.	Safety railing, platform, ladder, hoist, Cranes etc.	7
7.	House keeping	3
8.	Health Check	2
9.	Environmental Monitoring	5
10.	Portable STP	5
Total Cost		69.5

ENVIRONMENT MANAGEMENT PLAN- CONSTRUCTION PHASE

Sr. No.	Component	Impacts Identified	Suggested Mitigation Measures	Auditability	Responsibility
1.	Ambient Air Quality	<p>Fuel consumption by vehicles causing exhaust air emission</p> <p>Traffic congestion</p> <p>Pest control - use of insecticide by subcontractor</p>	<p>Fuel used in equipment should meet BS IV specifications</p> <p>All machinery used should conform to IS 807:2006</p> <p>The construction plan should be such that loading and unloading should be carried out at a designated place having easy access to entry and exit of the site.</p> <p>Application of integrated pest management techniques and controlled use of pesticides should be done in order to prevent damage to non-targeted species of pests.</p> <p>Adequate time should be allotted keep areas under pest control treatment to be quarantined from human contact</p>	<p>PUC records</p> <p>Machinery maintenance records</p> <p>Logistics plan</p> <p>Pest control records</p>	<p>Site In-charge</p> <p>Security In-charge</p> <p>Project Manager</p>
2.	Water Resources and Quality	<p>Domestic wastewater discharge (from pantry, flushing) to foul sewers</p> <p>Discharge of vehicle wash water</p> <p>Potential oil leakage</p>	<p>Adequate number of toilets (at least 8-10 toilets per 100 labours) with Modular STP arrangements provided onsite by the contractor</p> <p>Vehicle washing should be carried out at designated isolated places on site so as to avoid any interference with the existing water bodies near the site</p> <p>Construction equipment and machinery should be maintained and kept free from any possible leakages</p>	<p>Verification in audit records</p> <p>Logistics plan</p> <p>Machinery maintenance records</p>	<p>Environment Health and Safety Manager</p> <p>Site Supervisor</p> <p>Equipment Operator</p>
3.	Noise Environment	<p>Noise generated during site preparation</p> <p>Equipment selection</p> <p>Noise produced by vehicle</p>	<p>The noise generation activity should be carried out during normal working hours with adequate safety for workers and acoustic covering to all equipment</p> <p>Equipment selection should be done only after a comparative analysis</p> <p>Obtaining an efficient and well-maintained equipment should be the approach of the contractor</p> <p>All vehicles deployed in construction activity should maintain noise below 85 dB as prescribed by the pollution control board</p> <p>Vehicles used should be well lubricated and maintained in order to reduce unnecessary noise</p>	<p>Work-shift records</p> <p>Noise monitoring</p> <p>Machinery maintenance records</p>	<p>Site Supervisor</p> <p>Project Manager</p> <p>Site Supervisor/ Contractor Security In-charge/Contractor</p>
4.	Soil Environment	<p>Soil Disturbances due to earth work</p>	<p>Soil compaction should be carried out using excavated earth so as to avoid soil loss and degradation</p>	<p>Site records</p>	<p>Site Engineer</p>
5.	Solid waste Management	<p>Use of disposable materials (cups)</p> <p>Use of hazardous materials (formaldehyde, lead paints, timber preservatives) and disposal of batteries and toner cartridges</p> <p>Use of metal works, timber resources, thermal insulation and brickwork resources</p>	<p>Use of hazardous materials should be done only as the requirement and should be stored in a secure place.</p> <p>Hazardous waste should be stored separately and should be collected by an authorized agency only after proper documentation.</p> <p>Raw materials should be stored in areas away from direct impact of wind & water to avoid corrosion, erosion and quality degradation Dry storage and stacking in a closed container or room should be practiced</p> <p>Energy should be used only when required in order to prevent wastage. Renewable sources such as using daylight saving should be practiced and energy efficient equipment should be used at night.</p>	<p>MSDS records</p> <p>Storage Records</p> <p>Electric bills</p>	<p>Project Manager</p> <p>Project Manager</p> <p>Environment Health and Safety Manager</p>

ENVIRONMENT MANAGEMENT PLAN- OPERATION PHASE

Sr. No.	Component	Impacts Identified	Suggested Mitigation Measures	Auditability	Responsibility
1.	Air Quality	Emission from power backup/ DG sets Emissions from increase in traffic volume	Adequate stack height Maintenance Implementation of traffic management plan Vehicular speed limit to be maintained in order to reduce disturbance	Maintenance records	Facility Manager
2.	Water Quality	Increased load on fresh water sources Unplanned disposal of domestic waste water generated Inadequate management of storm water Spills, leaks from storage areas	Dual plumbing system will be adopted for reuse and recycle of water. Total 1 STP of 194 KLD capacity	STP maintenance record	Facility Manager
3.	Municipal Solid waste management and disposal	Inadequate collection and treatment of domestic waste Improper disposal of sludge	Biodegradable waste will be treated through OWC while dry waste will be handed over to authorized agency for disposal. Total 1 OWC of 300 kg/day capacity will be provided for Biodegradable waste treatment.	Maintenance records	Facility Manager
4.	Noise Environment	Increase in noise levels in residential areas due to Movement of vehicles Noise produced by vehicular movement	Ambient noise monitoring as per local norms will be carried out once in six months. Total 1 DG Set of 350 kVA will be provided for emergency power back up. Traffic movement within the project should be proper so as to avoid congestion which leads to noise generation. Movement of vehicles should be smooth. Efficient driveways for reducing idling	Maintenance record & monitoring records	Facility Manager
5.	Energy consumption and conservation	Electricity consumption (for lighting, air conditioning, office equipment and other purposes)	Energy saving fittings should be installed. Energy saving awareness should be carried out to optimize energy usage Use of solar PV panel with targeted saving up to 5 %	Electric bills	Facility Manager

Site Photographs



Enclosure No. 15 : DATA SHEET WITH ANNEXURE A & B

Monitoring the Implementation of Environmental Safeguards Ministry of Environment, Forest & Climate Change

Integrated Regional Office, Nagpur Part – I DATA SHEET

1.	Project Type: River-valley / Mining / Industry /Thermal / Nuclear / Other (Specify)	Residential cum commercial building development project
2.	Name of the Project	Proposed Development of residential cum commercial building "National Mount View" at Plot No. 14 & 15, Naina TPS-1, Village-Akurli, Taluka- Panvel, District- Raigad, Maharashtra
3.	Clearance Letter (s) / OM No. and date	Environment Clearance received vide reference no. EC Identification No. - SEIAA-EC-0000001439 File No. - Proposal No.: SIA/MH/INFRA2/449139/2023, Dated: 26.10.2023
4.	Location a. District (s) b. State (s) c. Latitude d. Longitude	Plot No. 14 & 15, Naina TPS-1, Village-Akurli, Taluka- Panvel Raigad Maharashtra Latitude: 19° 2'49.96"N Longitude: 73° 4'3.49"E
5.	Address for correspondence a. Address of concerned Project Chief Engineer (with Pin Code & Telephone/ Telex/ Fax Numbers): & Address of Executive Project Engineer / Manager (with pin code/fax numbers)	M/s. Sea Queen Developers Pvt. Ltd. Plot No. 14 & 15, Naina TPS-1, Village- Akurli, Taluka- Panvel, District- Raigad, Maharashtra
6.	Salient features a. Of the Project b. Of the Environmental Management Plan	Please refer Annexure A Please refer Annexure B
7.	a. Total Plot Area	10148.00 Sq. m.
8.	b. Built - Up Area (Including Road)	50000.000 Sq. m.
9.	c. Open Space available	4071.635 Sq. m.
10.	d. Green belt area	Ground Coverage Area 6076.365 Sq. m. (59.88 %) Green area on proposed Ground: 650.609 Sq. m. (6.41 %) Miyawaki tree plantation area on ground: 66.933 Sq. m.
11.	Breakup of the Project affected population with enumeration of those losing houses/dwelling units only, agricultural land only, both dwelling units & both dwelling units & agricultural land & landless	Not Applicable

	laborers/artisan a. SC, ST/Adivasis b. Others (Please indicate whether these figures are based on any scientific and systematic survey carried out or only provisional figures, if a survey carried out gives details and years of survey.)	
12.	Financial Details a. Project costs as originally planned & subsequent revised estimates and the year of price reference. b. Allocations made for Management Plan with item wise & year wise breakup. c. Benefit Cost Ratio / Internal rate of Return and the year of assessment. d. Whether (c) includes the cost of Environmental Management as shown in the above. e. Actual expenditure incurred on the Project so far Actual expenditure incurred on the Environmental Management Plan so far	130.67 Crs.
13.	Forest land requirement a. The status of approval for diversion of Forestland for non-forestry use b. The Status of clearing felling c. The status of compensatory Afforestation program in the light of actual field experience	Not Applicable
14.	Status of construction A. Date of commencement (Actual and/or planned) b. Date of completion (Actual and/or planned)	Construction started post receive of Environment Clearance received vide reference no. EC Identification No. - SEIAA-EC-0000001439 File No.- Proposal No.: SIA/MH/INFRA2/449139/2023, Dated: 26.10.2023
15.	Reasons for the delay if the project is yet to start	Not applicable
16.	Dates of site visits a. The dates on which the Project was monitored by Regional Office on previous occasions, if any b. Date of site visit for this monitoring Report	MBCB officer visited site on 10.02.2025 20.11.2025
17.	Details of correspondence with project authorities for obtaining action plan / information on status of compliance to safeguards other than the routine letters for logistic support for site visit.	Not applicable

ANNEXURE-A

PROJECT DETAILS

Name & Location	Proposed Development of residential cum commercial building “National Mount View” at Plot No. 14 & 15, Naina TPS-1, Village- Akurli, Taluka- Panvel, District- Raigad, Maharashtra	
Total no. of workers to be employed during construction phase	No. of Resident workers- 60 Nos. No. of Hutments- 35 Nos.	
Total Project cost	130.67 Crs.	
Project infrastructure	Residential cum commercial building having 2 wings (A & B Wing)	<p>Wing A: Ground Floor (Stilt parking + Commercial) + 1st & 2nd floor podium (Parking) + 3rd to 20th Floor (Residential Flats)</p> <p>Wing B: Ground Floor (Stilt parking + Commercial) + 1st & 2nd floor podium (Parking) + 3rd to 20th Floor (Residential Flats)</p>
Area Statement	<p>Plot area 10148.00 Sq. m. Net plot Area 10148.00 Sq. m. Proposed FSI 25260.826 Sq. m. Non FSI area 24739.174 Sq. m. Total Construction (BUA) area 50000.000 Sq. m. Open area 4071.635 Sq. m. Ground Coverage Area 6076.365Sq.m.(59.88 %) Green area on proposed Ground: 650.609 Sq. m. (6.41 %) Miyawaki tree plantation area on ground: 66.933 Sq. m. Total Construction (BUA) area 50000.000 Sq. m.</p>	
Water Sources and requirement	<p>Source: CIDCO During Operation Phase- Domestic: 131 Flushing: 67 Landscaping: 06 Total water requirement: 204</p>	
Sewage generated	<p>Waste water generated: 185 KLD STP Technology: MBBR technology 194 CMD STP Capacity</p>	
Power	<p>Source: MSEDCL During Operation Phase Connected Load: 2162 Kw Maximum Demand Load: 1026 kW DG Set : 350 KVA</p>	

Gaseous emission	<ul style="list-style-type: none"> • Vehicle carrying materials to be transported must have PUC certificate. • Heavy vehicle movement will be allowed only during night time. • Construction equipment's with idling control technologies will be used. • Regular maintenance of the equipment's will be carried out.
Solid waste from:	<ul style="list-style-type: none"> • Biodegradable : 266 Kg/day • Non Biodegradable : 398 Kg/day • STP Sludge: 1 Kg/day <p>Total Waste: 665 Kg/day</p>

HAZARDOUS WASTE MANAGEMENT PLAN CONSTRUCTION PHASE:

Environmental Management Plan for Hazardous Waste Generation

Sr. No.	Source of Hazardous Waste Generation	Mitigation Measures
1.	Leakages and spillage oil or fuel	<ul style="list-style-type: none"> ❖ Contaminated soil if any shall be disposed off to Authorized Disposal site. ❖ Bituminous materials/ any other chemicals shall not be allowed to leach into the soil.
2.	Residual Paints/ Solvents	---do---

Other hazardous wastes, if an, shall also be handled in the similar way through authorized dealers only.

OPERATIONAL PHASE:

Sr. No.	Source of Hazardous Waste Generation	Mitigation Measures	Disposal
1.	Waste Oil from D.G. Sets	-	❖ Waste oil will be handed over to authorized recyclers.